

**COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS
NORTHERN MARIANAS HOUSING CORPORATION**

PUBLIC NOTICE

11/08/2021

This Notice is paid by NMHC with HUD funds.

**NOTICE OF FINDING OF NO SIGNIFICANT IMPACT
AND NOTICE OF INTENT TO REQUEST A RELEASE OF FUNDS**

Government of the Commonwealth of the Northern Mariana Islands
Northern Marianas Housing Corporation
Saipan, MP 96950 Tel: (670) 234-9447/6866

This notice shall satisfy the above-cited two separate but related procedural notification requirements.

REQUEST FOR RELEASE OF FUNDS

On or after November 23, 2021, the Government of the Commonwealth of the Northern Mariana Islands will submit a request to the U.S. Department of Housing and Urban Development, Washington D.C., for the release of Community Development Block Grant Disaster Recovery (CDBG-DR) Supplemental Appropriations for Disaster Relief Act, 2019 P.L. 116-20, enacted on January 27, 2020, announced via Federal Register Notice, to undertake the following activity and purposes in Saipan, Commonwealth of the Northern Mariana Islands:

Project Activity/Type:

Beach Road Repair and Improvement from Monsignor Guerrero Road Intersection to Micro Beach Road/AMP Route 33 Phase III and Phase IV Project.

The proposed road improvement and drainage project is located from Atkins Kroll Toyota or Monsignor Guerrero Road intersection to Micro Beach Road/American Memorial Park (AMP) located on the island of Saipan from San Jose Village to Garapan Village. The project is essentially a resurfacing project. The project involves removing existing asphalt pavement, evaluate the condition of existing base coarse. If the base coarse is structurally sound, it will be shaved (graded), compacted and asphalt paved. The timeline for the project's construction phase is 8 months. To further streamline traffic flow and lessen congestion there is an ongoing project for installation of traffic light on Quartermaster intersection. This project benefits the entire Saipan community, especially for residents and businesses that reside and operate near the road. The safe roads will minimize accidents; allows for smoother and reliable commutes between north and south of the island and other critical facilities such as the island's main hospital.

Purpose:

The Northern Marianas Housing Corporation (NMHC) recognizes the requirements provided under 83 FR 40314 but firmly believes that the eligible activities under CDBG-DR Infrastructure Program are permissible and thereby asserts that the Department of Public Works (DPW) is an essential component that support low-income to low-moderate income families who will live in reconstructed/rehabilitate/newly constructed homes. The low-income to low-moderate income families use this stretch of road. Consequently, NMHC finds an immediate urgency to fund DPW's unmet public infrastructure needs; specifically, this road improvement project and for the ensuing reasons.

Location:

Beach Road from Monsignor Guerrero Road Intersection to Micro Beach Road/AMP, Saipan MP 96950

Total Project Cost:

\$10,000,000.00 of CDBG-DR funds is allocated to this project combined with Federal Highway funds in the amount of \$26,603,695.00 (Federal Highway funds is allocated to road improvements from the Pakpak Beach to As-Perdido Intersection/As-Perdido Intersection to AK Toyota). Total Project Cost: \$36,603,695.00

FINDING OF NO SIGNIFICANT IMPACT

The Government of the Commonwealth of the Northern Mariana Islands has determined that the above-listed projects will have no significant impact on the human environment. Therefore, an Environmental Impact Statement under the National Environmental Policy Act of 1969 (NEPA) is not required. Additional project information is contained in the Environmental Review Record (ERR) and is ready for public viewing on the Northern Marianas Housing Corporation (NMHC) website at www.nmhc.gov.net or www.cnmi-cdbgdr.com; or you may visit the on file at the NMHC Central Office in Garapan, Saipan or NMHC CDBG-DR Office in Beach Road Chalan Laulau, Saipan during regular work hours, Monday through Friday except CNMI Holidays, from 7:30 A.M. to 4:30 P.M.

PUBLIC COMMENTS

Any individual, group or agency disagreeing with this determination or wishing to comment on the project may submit written comments to the Northern Marianas Housing Corporation. You may submit comments from the following options: Via mail to P.O. Box 500514, Saipan, MP 96950; Direct delivery to the central office in Garapan, Saipan or drop-box located in front of the building; and Via email at nmhc@nmhc.gov.mp. All comments received by **November 23, 2021, 4:00 p.m.**, will be considered by the Government of the Commonwealth of the Northern Mariana Islands prior to authorizing submission of a request for release of funds. Commentors should specify which part of this Notice they are addressing.

RELEASE OF FUNDS

The Government of the Commonwealth of the Northern Mariana Islands certifies to the U. S. Department of Housing and Urban Development (HUD), Washington D.C. that the Government of the Commonwealth of the Northern Mariana Islands and Governor Ralph DLG. Torres consent to accept the jurisdiction of the Federal Courts if an action is brought to enforce responsibilities in relation to the environmental review process, and that these responsibilities have been satisfied. The U. S. Department of Housing and Urban Development (HUD), Washington D.C. acceptance of the certification satisfies its responsibilities under the National Environmental Policy Act of 1969 and related laws and authorities, and allows the Government of the Northern Mariana Islands to use Program Funds.

OBJECTION TO RELEASE OF FUNDS

The U. S. Department of Housing and Urban Development (HUD) Washington D.C. will accept objections to its release of funds and the Government of the Northern Mariana Islands certification for a period of **fifteen days** following anticipated submission date or its actual receipt of the request (whichever is later) only if it is on one of the following bases: (a) the certification was not executed by the Certifying Officer of the Government of the Northern Mariana Islands; (b) the Government of the Northern Mariana Islands has omitted a step or failed to make a decision or finding required by the U. S. Department of Housing and Urban Development regulations at 24 CFR Part 58; (c) the grant recipient has incurred cost not authorized by 24 CFR Part 58 before approval of the release of funds by the U. S. Department of Housing and Urban Development; or (d) another Federal agency acting pursuant to 40 CFR Part 1504 has submitted a written finding that the project is unsatisfactory from the standpoint of environmental quality. Objections must be prepared and submitted in accordance with the required procedures of 24 CFR Part 58 and shall be addressed to Ms. Tennille Smith Parker, DRSI Division Director, HUD, via email at Tennille.S.Parker@hud.gov ; Tel: (202)402-4649. Potential objectors should contact the U.S. Department of Housing and Urban Development to verify the actual last day of the objection period.

/s/

Ralph DLG Torres
Governor, CNMI



U.S. Department of Housing and Urban Development

451 Seventh Street, SW
Washington, DC 20410
www.hud.gov

espanol.hud.gov

Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58

Project Information

Project Name: Beach Road Repair and Improvement from Monsignor Guerrero Road Intersection to Micro Beach Road/AMP Route 33 Phase III and Phase IV Project

Responsible Entity: Northern Marianas Housing Corporation (NMHC)

Grant Recipient (if different than Responsible Entity):

State/Local Identifier: 854856277

Preparer: Wilfred Villagomez, Project Supervisor

Certifying Officer Name and Title: Jesse S. Palacios, Corporate Director

Grant Recipient (if different than Responsible Entity):

Consultant (if applicable): None

Direct Comments to: Northern Marianas Housing Corporation, P.O. Box 500514, Saipan, MP 96950; Email: nmhc@nmhc.gov.mp; Fax: (670)234-9021

Project Location:

Beach Road from Monsignor Guerrero Road Intersection to Micro Beach Road/AMP, Saipan, MP 96050

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The DPW proposed road improvement and drainage is located from Atkins Kroll Toyota or Monsignor Guerrero Road intersection to Micro Beach Road/American Memorial Park located on the island of Saipan from San Jose Village to Garapan Village. The project is essentially a resurfacing project. The project involves removing existing asphalt pavement, evaluate the condition of existing base coarse. If the base coarse is structurally sound, it will be shaved (graded), compacted and asphalt-paved. The timeline for the project's construction phase is 8 months. To further streamline traffic flow and lessen congestion there is an ongoing project for installation of a traffic light on Quartermaster intersection. This project benefits the entire Saipan community, especially residents who live and businesses that operate near the road. The

safe roads minimize accidents; allows for smoother and reliable commutes between north and south of the island and other critical facilities such as the island's main hospital.

Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:

The Northern Marianas Housing Corporation (NMHC) recognizes the requirements provided under 83 FR 40314 but firmly believes that the eligible activities under CDBG-DR Infrastructure Program are permissible and thereby asserts that the Department of Public Works (DPW) is an essential component that supports families who will live in reconstructed/rehabilitated/newly constructed homes in all Low-Income to Moderate-Income residents living in the area use this stretch of road. Consequently, NMHC finds an immediate urgency to fund DPW's unmet public infrastructure needs; specifically, this road improvement project and for the ensuing reasons.

Existing Conditions and Trends [24 CFR 58.40(a)]:

The project addresses past storms, compounded with the age and high traffic volume which rendered Beach Road unsafe. There are numerous sediments along the road which allow water to migrate into the roadway. Rutting and road cracks continue to extend and expand, allowing water to penetrate and destabilize the supporting base coarse. During construction, erosion, dust and traffic control measures will be in place to minimize effects.

Funding Information

Grant Number	HUD Program	Funding Amount
B-19-DV-69-0001 & B-19-DV-69-0002	Community Development Block Grant- Disaster Recovery (CDBG-DR)	\$10,000,000.00

Estimated Total HUD Funded Amount: Approximately \$10,000,000.00

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]: Approximately Route 33 Road Repair and Improvement:

	Location:	Funded by:	Amount:
Phase I	Pakpak Beach to As-Perdido Intersection	Federal Highway	\$10,691,687.00
Phase II	As-Perdido Intersection to AK Toyota	Federal Highway	\$15,912,008.00
Phase III	AK Toyota to Fishing Base	CDBG-DR	\$ 5,000,000.00
Phase IV	Fishing Base to American Memorial Park	CDBG-DR	<u>\$ 5,000,000.00</u>
Route 33 Total Project Cost			\$ 36,603,695.00

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The CNMI Commonwealth Ports Authority has determined the project site is free from the runway clear zones. See letter dated April 22, 2020 and a visual map of the proposed project to Airport distance. See Appendix A on Letter Dated April 22, 2020 and Map of location and Airport Hazards (CEST and EA) Worksheet.
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	This regulation does not apply to the project area; therefore, the project is in compliance. See Appendix B on Letter Dated January 27, 2021, Map of location and Coastal Barrier Resources (CEST and EA) Worksheet. *Contractors shall apply the necessary permits prior to any construction work. *
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The roadway project is not a building and does not require and can't obtain flood insurance for infrastructure project. There are no Flood Insurance for Public Infrastructures. See Appendix C on Letter Dated January 22, 2021, Map of location and Flood Insurance (CEST and EA) Worksheet.
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5		
Clean Air	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The CNMI Bureau of Environmental and Coastal Quality (BECQ) does not believe that the project will have a significant impact on the environment

Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93		<p>as defined by the National Environmental Policy Act.</p> <p>See Appendix D on Letter Dated January 8, 2021 and Air Quality (CEST and EA) Worksheet.</p> <p>*Prior to construction the contractor is required to obtain permits from the BECQ.*</p>
Coastal Zone Management Coastal Zone Management Act, sections 307(c) & (d)	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>The CNMI Division of Coastal Resources Management (DCRM) had determined that the proposed improvement project is situated on DCRM's designated "Areas of Particular Concern" (APCs) – Shoreline and Coastal Hazards. The project will be primarily conducted within the boundaries of Route 33, these areas were previously disturbed with pre-existing asphalts, traffic lights, and other road infrastructures. DCRM anticipates the project is likely to have a less than significant adverse effects on the pattern and type of land use or growth and distribution of population including character of existing government properties and residential areas.</p> <p>See Appendix B on Letter Dated January 27, 2021, Map of location, and Coastal Zone Management Act (CEST and EA) Worksheet.</p> <p>*Contractors shall obtain the necessary permits prior to any construction activities. *</p>
Contamination and Toxic Substances 24 CFR Part 50.3(i) & 58.5(i)(2)	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>The CNMI Bureau of Environmental and Coastal Quality (BECQ) does not believe that the project will have a significant impact on the environment as defined by the National Environmental Policy Act.</p> <p>See Appendix D on Letter Dated January 8, 2021 and Contamination and Toxic Substances (Multifamily and Non-Residential Properties) Worksheets.</p>
Endangered Species Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>The CNMI Division of Fish and Wildlife (DFW) has determined that they do not anticipate impacts to T&E species.</p> <p>See Appendix E on Letter Dated January 11, 2021 and Endangered Species Act (CEST and EA) Worksheet.</p>
Explosive and Flammable Hazards 24 CFR Part 51 Subpart C	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	<p>The CNMI Bureau of Environmental and Coastal Quality (BECQ) confirms that the project is located at an Acceptable Separation Distance ASD from any above-ground or flammable fuels or chemicals containers according to "siting of</p>

		<p>HUD-Assistance Projects Near Hazardous Facilities. Or will have a significant impact of the environment as defined by the National Environmental Policy Act.</p> <p>See Appendix D on Letter Dated January 8, 2021 and Explosive and Flammable Hazards (CEST and EA) Worksheet.</p>
<p>Farmlands Protection</p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Natural Resources Conservation Service (NRCS) has determined that NO protected farmlands will be impacted.</p> <p>See Appendix F on AD-1006, Map of location and Farmlands Protection (CEST and EA) Worksheet.</p>
<p>Floodplain Management</p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>The Department of Public Works has determined that the project is located in the special flood hazard area. An 8 step floodplain mitigation steps to ensure road safety and enhance floodplain development by ensuring no potential standing water is retained and that the rate of runoff discharge to seawater is minimized and dispersed.</p> <p>See Appendix C on Letter Dated January 22, 2021 and Map of location from FEMA'S National Flood Hazard Layer and Floodplain Management (CEST and EA) Worksheet. Also See Appendix K for 8 step Proposed Activity in a 100-Year Flood Plain.</p>
<p>Historic Preservation</p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>There is no significant ground disturbance activities for this project so no tribal consultation was not required. The CNMI Historic Preservation Office (HPO) determines that the historic properties can be found adjacent and not within the subject projects are of potential effect (APE). Should there be inadvertent findings during construction, all earthmoving activities will stop and HPO will be notified.</p> <p>See Appendix J on Letter Dated February 19, 2021 and Historic Preservation (CEST and EA) Worksheet.</p>
<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The CNMI Bureau of Environmental and Coastal Quality (BECQ) has concurred with the determination of the NMHC that the project will not involve development of noise sensitive uses. The project is not within a major roadway or rail road.</p>

		See Appendix D on Letter Dated January 8, 2021 and Noise (EA Level Reviews) Worksheet. *Contractors shall obtain the necessary permits prior to any construction activities.*
Sole Source Aquifers Safe Drinking Water Act of 1974, as amended, particularly section 1424, 40 CFR Part 149	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The CNMI has no Sole Source Aquifers located at the project site. See Appendix H on HUD map for sole source aquifers, Map of Sole Source Aquifer and Sole Source Aquifers (CEST and EA) Worksheet.
Wetlands Protection Executive Order 11990, particularly sections 2 and 5	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project does not go thru any wetlands. The CNMI Division of Environmental Quality (DEQ) had determined that the project site does not involve new construction within or adjacent to wetlands, marshes, wet meadows, mud flats or natural ponds per field observation and maps issued by the USDI Fish and Wildlife Service or US Corps of Engineers. See Appendix D on Letter Dated January 8, 2021 and Wetland map from National US Fish and Wildlife Service Wetlands Inventory and Wetlands (CEST and EA) Worksheet.
Wild and Scenic Rivers Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	There are no wild or scenic rivers located in the CNMI. See Appendix I on Map of location from National Rivers Inventory.
ENVIRONMENTAL JUSTICE		
Environmental Justice Executive Order 12898	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	We have determined there will be no adverse environmental impact that could have a potential to have disproportionate impact on low income or minority populations. There will be low income or minority individuals that will use this road, this road is critical to them, it's critical to getting them to their jobs, it will have a beneficial impact to repair this road.

Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 & 1508.27] Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features and resources of the project area. Each factor has been evaluated and documented, as appropriate and in

proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

Impact Codes: Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
LAND DEVELOPMENT		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	The Saipan Zoning Office has determined that the project is permitted within the Village Residential zoning district per Section 411(e) of the Saipan Zoning Law.
Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff	2	The soil suitability of the proposed project is suitable for the project. The project will consist of road resurfacing and installation of drainage system to ensure proper flow of runoff water to prevent flooding at the project site.
Hazards and Nuisances including Site Safety and Noise	2	The proposed project would involve resurfacing of the existing road and installation of drainage system to prevent flooding during the raining season. Contractors obtaining a permit must adhere to the permitting requirements such as construction safety and noise.
Energy Consumption	2	The construction activity may require little to no use of energy besides equipment that requires the use of fossil fuels and electrical generator.

Environmental Assessment Factor	Impact Code	Impact Evaluation
SOCIOECONOMIC		
Employment and Income Patterns	2	No Adverse impact are anticipated from the project on employment and income within the project area.
Demographic Character Changes, Displacement	2	There are no character changes or displacement for this project. The project will mitigate the flooding issue at the project site.

Environmental Assessment Factor	Impact Code	Impact Evaluation
COMMUNITY FACILITIES AND SERVICES		
Educational and Cultural Facilities	2	There is no adverse impact on educational and cultural facilities.
Commercial Facilities	2	There is no adverse impact on commercial facilities.
Health Care and Social Services	2	There is no adverse impact on Health Care and Social Services facilities.
Solid Waste Disposal / Recycling	2	There is no adverse impact on Solid Waste Disposal and Recycling facilities.
Waste Water / Sanitary Sewers	2	There is no adverse impact on Waste Water and Sanitary Sewer facilities.
Water Supply	2	There is no adverse impact on Water Supply facilities.
Public Safety - Police, Fire and Emergency Medical	2	There is no adverse impact on Public Safety Services.
Parks, Open Space and Recreation	2	There is no adverse impact on Parks, Open Space and Recreation facilities.
Transportation and Accessibility	3	There will be an impact on Transportation and Accessibility services. The adjacent businesses will have to work with the Department of Public Works traffic control for the project that will address rerouting of the roads or temporary closures for work areas.

Environmental Assessment Factor	Impact Code	Impact Evaluation
NATURAL FEATURES		
Unique Natural Features, Water Resources	2	There is no adverse impact on the Unique Natural Features and Water Resources.
Vegetation, Wildlife	2	There is no adverse impact on Vegetation and Wildlife.
Other Factors	2	State laws and regulations requires all construction activities to go through a permit process.

Additional Studies Performed:

None

Field Inspection (Date and completed by): September 01, 2021 by Wilfred Villagomez

List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:

1. Commonwealth Ports Authority (CPA)
2. Division of Coastal Resource Management (DCRM)
3. Bureau of Environmental and Coastal Quality (BECQ)
4. Division of Fish and Wildlife (DFW)
5. Department of Public Works (DPW)
6. Historic Preservation Office (HPO)
7. Natural Resource Conservation Service (NRCS)
8. CNMI Zoning Office

List of Permits Obtained:

Selected contractor will be responsible to obtain the permits needed to commence the construction activities of the proposed project.

Public Outreach [24 CFR 50.23 & 58.43]:

The NMHC shall provide publish a notice to the local newspaper outlets, NMHC website and social media outlet to review the completed environmental review and allow the public make comments.

Cumulative Impact Analysis [24 CFR 58.32]:

Per consultation with all environmental permitting agencies there will be no adverse impact in the environment as the construction activities are minimal. The state laws and regulations requires all construction contractors to obtain the necessary permits in order to commence any construction activities.

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

SEE Appendix K

The alternative for this project is to relocate the road but will have adverse and costly social and economic consequences. There will be hundreds of families that will lose access and the ability to work, go to school, and avail of social services. Utilities and communication services to homes and businesses will deteriorate due to lack of access for repairs. Degeneration of emergency and public safety responses will continue. Businesses will cease due to substantial reduction and costly complications to transport and trade. The island's small size will trickle-down effect and interactive proliferation nature of this hardship will be universal and immediate as well. The road relocation will directly and indirectly force thousands of people and businesses to uproot from their lands and properties and relocate elsewhere. The migration cost will be in the hundreds of millions of dollars.

No Action Alternative [24 CFR 58.40(e)]:

The NMHC considers a no action alternative because the proposed project cannot be relocated to another site because the current roadway is an existing roadway for the community's use. Relocating the roadway

is not feasible. Therefore, NMHC determines there are no practicable sites available. The proposed action must remain at its current site.

Summary of Findings and Conclusions:

The NMHC believes that the current project will improve and enhance the access for the community. Therefore, the project shall commence to provide easy access to the adjacent properties for the residents and commercial establishments. The overall impacts will be the flood mitigation plan which requires the 8 step mitigation. The challenges of this project is the daily traffic and temporary inconvenience while the project is ongoing. Our project with the assistance of Department of Public Works will create a traffic control program that is built in the scope of work for the project that will address temporary traffic remedy or options to the affected household, daily drivers, and businesses.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure
Department of Public Works determined the project is on a Special Flood Hazard Area (SFHA), Zones VE and AE.	NMHC under Part 58, has conducted an evaluation as required by Executive Order 11988, in accordance with HUD regulations at 24 CFR 55.20 Subpart C -Procedures for Making Determinations on Floodplain Management and Wetlands Protection, to determine the potential effects that its activity in the floodplain will have on the human environment for the Road Improvement Project Route 33, Beach Road, Saipan. This activity is also National Flood Insurance Program (NFIP) compliant.

Determination:

☒ **Finding of No Significant Impact** [24 CFR 58.40(g)(1); 40 CFR 1508.27]

The project will not result in a significant impact on the quality of the human environment.

☐ **Finding of Significant Impact** [24 CFR 58.40(g)(2); 40 CFR 1508.27]

The project may significantly affect the quality of the human environment.

Preparer Signature:  Date: 11/1/21

Name/Title/Organization: Wilfred Villagomez, CDBG-DR Project Supervisor, NMHC

Reviewer Signature:  Date: 11/3/21

Reviewed by: Jacob Muna, Office Manager/Procurement Officer, NMHC

Certifying Officer Signature:  Date: 11/3/21

Name/Title: Jesse S. Palacios, Corporate Director

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

Appendix A



Commonwealth Ports Authority

Francisco C. Ada/Saipan International Airport

PO BOX 501055 • SAIPAN • MP • 96950

Phone: (670) 237-6500/01

Fax: (670) 234-5962

E-Mail Address: cpa.admin@pticom.com

Website: <https://cnmports.com>



April 22, 2020

Mr. Jesse S. Palacios
Corporate Director
Northern Marianas Housing Corporation
PO Box 500514
Saipan, MP 96950

Dear Director Palacios:

Subject: Request for Determination of Effect
DPW's Beach Road Improvement Project
American Memorial Park to Atkins Kroll Toyota Intersection

This is in reference to your letter dated January 8, 2021 requesting for Determination of Effect for the above subject. The proposed Department of Public Works project is for the Beach Road Improvement Project which extends from the American Memorial Park to the Atkins Kroll Toyota intersection.

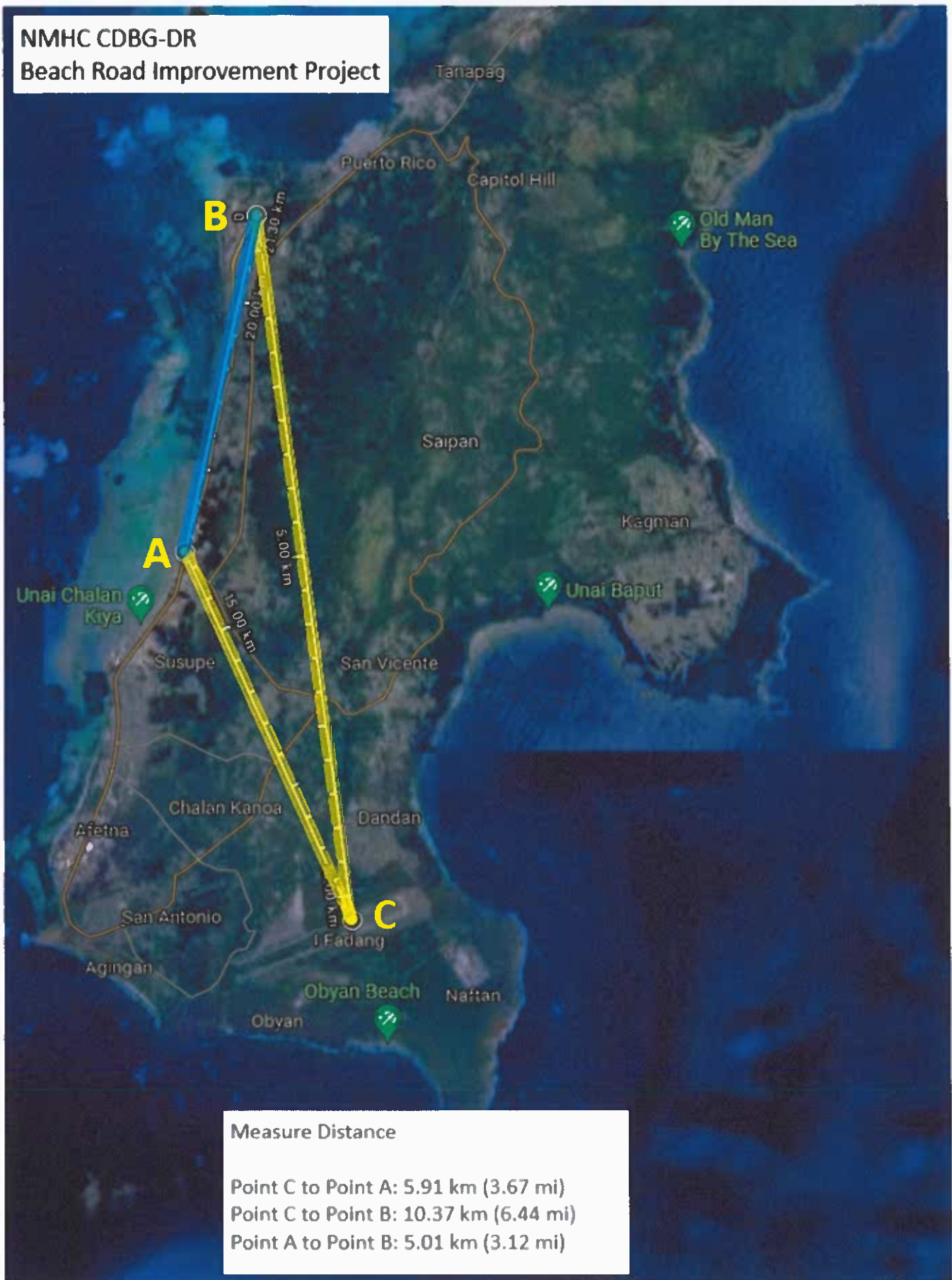
After review of the project, we found it to be free from the Runway Clear Zones. As such, the determination of effect is hereby given.

Should you have any questions or require additional information, please feel free to contact us.

Sincerely,

CHRISTOPHER S. TENORIO
Executive Director

**NMHC CDBG-DR
Beach Road Improvement Project**





U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those "Partners" (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Airport Hazards (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/airport-hazards>

1. To ensure compatible land use development, you must determine your site's proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?

☒ No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within the applicable distances to a military or civilian airport.*

☐ Yes → *Continue to Question 2.*

2. Is your project located within a Runway Potential Zone/Clear Zone (RPZ/CZ) or Accident Potential Zone (APZ)?

☐ Yes, project is in an APZ → *Continue to Question 3.*

☐ Yes, project is an RPZ/CZ → *Project cannot proceed at this location.*

☒ No, project is not within an APZ or RPZ/CZ

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary below. Provide a map showing that the site is not within either zone.*

3. Is the project in conformance with DOD guidelines for APZ?

☐ Yes, project is consistent with DOD guidelines without further action.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.*

☐ No, the project cannot be brought into conformance with DOD guidelines and has not been approved. → *Project cannot proceed at this location.*

If mitigation measures have been or will be taken, explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

[Click here to enter text.](#)

→ *Work with the RE/HUD to develop mitigation measures. Continue to the Worksheet Summary below. Provide any documentation supporting this determination.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

[Click here to enter text.](#)

Appendix B



Commonwealth of the Northern Mariana Islands
OFFICE OF THE GOVERNOR
Bureau of Environmental and Coastal Quality
Division of Coastal Resources Management
P.O. Box 501304, Saipan, MP 96950
Tel: (670) 664-8300; Fax: (670) 664-8315
www.dcrmm.gov.mp



Eli D. Cabrera
Administrator

Janice E. Castro
Director, DCRM

January 27, 2021

Ref No: PRM21-033

Mr. Jesse S. Palacios
Corporate Director
Northern Marianas House Corporation
P.O. Box 500514
Saipan, MP 96950
Email: cnmi-cdbg-dr@nmhcgov.net

**Re: Determination of Effect for the Department of Public Works
Route 33 Beach Road Improvement Project, Phases III and IV.**

Dear Mr. Palacios,

The Division of Coastal Resources Management (DCRM) is in receipt of your letter dated January 8, 2021 requesting for a Determination of Effect for the proposed **Route 33 Beach Road Improvement Project** beginning from the Route 33/Route 31 Intersection (Atkins Kroll) in Oleai and ending at the Route 33/Route 38 Intersection (American Memorial Park) in Garapan, Saipan. Furthermore, this project will be funded by the U.S. Department of Housing and Urban Development (HUD) through the Community Development Block Grant – Disaster Recovery Program (CDBG-DR).

As proposed, the scope of work required includes asphalt pavement recondition, overlay dense graded anti-skid pavement, adjustment of water and sewer manholes, installation of new pavement markers, and other miscellaneous work associated with the Route 33 Beach Road Improvement project. Architectural and Engineering design plans for this project were not included as an attachment for our review. As a result, DCRM's assessment will be a partial review of the Department of Public Work's (DPW) proposal for the Route 33 Beach Road Improvement Project for Phase III and Phase IV.

Based on our preliminary review of the DPW's proposal, scope of work, and general vicinity map, DCRM anticipates that the project is likely to cause a direct and significant adverse effect to coastal resources, adjacent commercial operations and residents, including vehicular traffic that rely on this route for their day-to-day transportation needs. Since the proposal did not include any design plans and other pertinent documents necessary for a thorough review, this partial assessment does not constitute a final determination of effect. However, DCRM has determined the following findings to support this partial assessment as follows:

- (1) Based on the general information of the project and project site, some areas of the project are partially situated within CRM's designated Areas of Particular Concern - Shoreline

and Coastal Hazards. Further, the nature and scope of work for this project meets CRM's Major Siting definition - *The construction and major repair of highways and infrastructure development (NMLAC § 15-10-020(iii)(6))*;

- (2) As proposed, the project will be primarily conducted within the boundaries of Route 33 Beach Road in Oleai, Chalan Laulau, I Liyan, and Garapan area. These areas were previously disturbed with pre-existing asphalts, traffic lights, and other road infrastructures. DCRM anticipates that the project is likely to have a less than significant adverse effects on the pattern and type of land use or growth and distribution of population including the character of existing government properties and residential areas;
- (3) DCRM does not anticipate that this project will cause significant public controversy. We believe that the public and other agencies will be supportive of this proposal;
- (4) Based on the information provided, DPW will be required to apply for a "One Start" permit as the project is or will be federally funded. The application will enable DCRM, the Division of Environmental Quality (DEQ), the Division of Fish and Wildlife (DFW), and the Historic Preservation Office (HPO) to review your project proposal in its entirety; and
- (5) As this project will be duly permitted by relevant CNMI agencies, DCRM anticipates that this project will not conflict with any CNMI environmental, natural resources protection, or land use laws and regulations.

We look forward to further coordination with NMHC and DPW as you navigate through local and federal requirements. Should you have any questions, please contact our Permitting Section at 664-8300 for assistance.

Sincerely,



JANICE E. CASTRO
Director

Division of Coastal Resources Management

cc: Secretary of DPW



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those "Partners" (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Coastal Barrier Resources (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/coastal-barrier-resources>

Projects located in the following states must complete this form.

Alabama	Georgia	Massachusetts	New Jersey	Puerto Rico	Virgin Islands
Connecticut	Louisiana	Michigan	New York	Rhode Island	Virginia
Delaware	Maine	Minnesota	North Carolina	South Carolina	Wisconsin
Florida	Maryland	Mississippi	Ohio	Texas	

1. Is the project located in a CBRS Unit?

☒ No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within a CBRS Unit.

☐ Yes → Continue to 2.

Federal assistance for most activities may not be used at this location. You must either choose an alternate site or cancel the project. In very rare cases, federal monies can be spent within CBRS units for certain exempted activities (e.g., a nature trail), after consultation with the Fish and Wildlife Service (FWS) (see [16 USC 3505](#) for exceptions to limitations on expenditures).

2. Indicate your recommended course of action for the RE/HUD

- ☐ Consultation with the FWS
- ☐ Cancel the project

Worksheet Summary

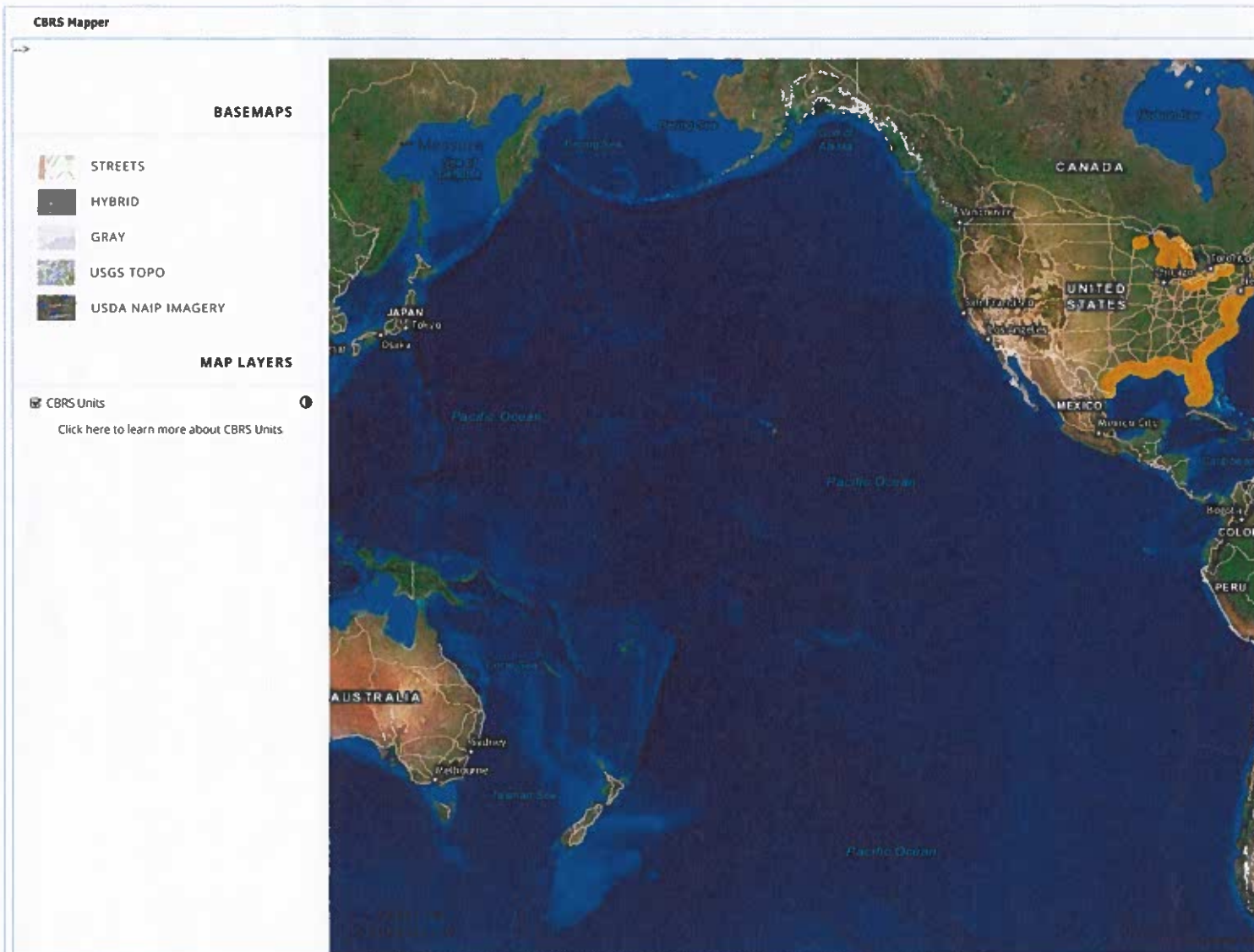
Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

Click here to enter text.





For CBRA news, sign up for our listserve electronic mailing list

Zone" depicted in the CBRS Mapper). This includes structures bisected by the boundary. All other locations should be verified using the "CBRS Validation Tool" described above.

The Service's determination is based upon materials provided by the requester and the [official CBRS map](#) of the area. The Service's response letter contains an in/out determination and the prohibition date for Federal flood insurance if the property is located within the CBRS.

What Materials are required for a CBRS Property Determination?

In order for the Service to make a property determination, the requester should submit a valid address along with the output from the CBRS Validation Tool indicating that the location is within the CBRS Buffer Zone. The requestor should also submit any additional documentation necessary to help the Service positively confirm the location of the property, such as a map showing the location of the property, a property record card, survey, deed, and/or elevation certificate.

How do I Request a CBRS Property Determination?

All interested parties, except insurance agents, may submit property determination requests for locations within the CBRS Buffer Zone directly to the Service's Headquarters Office at CBRADeterminations@fws.gov. Insurance agents should send requests for CBRA determinations to NFIP Direct, or the NFIP Write Your Own insurer to whom the application for flood insurance coverage is being made. The insurer will send the request to the NFIP Bureau & Statistical Agent, who will in turn submit the case to the Service for an official determination.

Is there an appeals process for CBRS determinations?

There is not an official appeals process, however, interested parties may submit new information to the Service at CBRADeterminations@fws.gov and ask for a reevaluation of the case if they believe a CBRS determination is incorrect. If the location of the property has been correctly determined in relation to the CBRS boundary, then the Service's determination will not be changed.

Relevant FEMA links:

- FEMA website: <https://www.fema.gov/national-flood-insurance-program>
- Flood Insurance Manual: <http://www.fema.gov/flood-insurance-manual>
- FEMA Map Information Exchange: https://www.floodmaps.fema.gov/fhm/fmx_main.html



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

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Coastal Zone Management Act (CEST and EA) – PARTNER

<https://www.onecpd.info/environmental-review/coastal-zone-management>

Projects located in the following states must complete this form.

Alabama	Florida	Louisiana	Mississippi	Ohio	Texas
Alaska	Georgia	Maine	New Hampshire	Oregon	Virgin Islands
American Samoa	Guam	Maryland	New Jersey	Pennsylvania	Virginia
California	Hawaii	Massachusetts	New York	Puerto Rico	Washington
Connecticut	Illinois	Michigan	North Carolina	Rhode Island	Wisconsin
Delaware	Indiana	Minnesota	Northern Mariana Islands	South Carolina	

1. Is the project located in, or does it affect, a Coastal Zone as defined in your state Coastal Management Plan?

☒ Yes → Continue to Question 2.

☐ No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing that the site is not within a Coastal Zone.

2. Does this project include activities that are subject to state review?

☒ Yes → Continue to Question 3.

☐ No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination.

3. Has this project been determined to be consistent with the State Coastal Management Program?

☐ Yes, with mitigation. → The RE/HUD must work with the State Coastal Management Program to develop mitigation measures to mitigate the impact or effect of the project.

☒ Yes, without mitigation. → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination.

☐ No → Project cannot proceed at this location.

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

Click here to enter text.

Appendix C



Filed, File 2/3/21
Commonwealth of the Northern Mariana Islands
Office of the Secretary of Public Works
2nd floor - Oleai Joeten Commercial Center
Saipan, MP 96950



January 22, 2021
Serial No. PW21-0082

Mr. Jesse S. Palacios
Corporate Director
Northern Marianas Housing Corporation
Saipan, MP 96950

Subject: Determination of Special Flood Hazard Area

Dear Director Palacios:

This letter is in response to your email request received by our office on January 11, 2021 for the determination of Special Flood Hazard Area as a part of a regulatory compliance checklist regarding a proposed **DPW Beach Road Improvement** with project limits between the American Memorial Park and Atkins Kroll Toyota.

After a thorough review of the Flood Insurance Rate Map (FIRM Panel No. 6900000045C) and other source materials, this office has determined that the aforementioned project extent is **in the Special Flood Hazard Area (SFHA), Zones VE and AE**. See attached map.

Generally, for pre-existing infrastructure like roads and highways, FEMA/NFIP has no guidelines and/or regulations that must be met. However, any federal funding agency such as HUD may frame the work being done.

Should you have any questions or concerns, please do not hesitate to contact Mr. Edwin Tmarsel, Flood Administrator of our Building Safety Code Division at the telephone number 234-2726.

Sincerely,


JAMES A. ADA
Secretary of Public Works

cc: Building Safety Code Division



NMHC- SAIPAN OFFICE

RECEIVED

By: CFR

DATE: 02-02-2021

2021-0029

0840am

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

Without Base Flood Elevation (BFE)
Zone A, V, A99

With BFE or Depth
Zone AE, AO, AH, VE, AR

Regulatory Floodway

0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile
Zone X

Future Conditions 1% Annual Chance Flood Hazard
Zone X

Area with Reduced Flood Risk due to Levee. See Notes.
Zone X

Area with Flood Risk due to Levee
Zone D

NO SCREEN
Area of Minimal Flood Hazard
Zone X

Effective LOMRs
Area of Undetermined Flood Hazard
Zone X

Channel, Culvert, or Storm Sewer
Levee, Dike, or Floodwall

20.2
17.8

Gross Sections with 1% Annual Chance Water Surface Elevation

Coastal Transect

Base Flood Elevation Line (BFE)

Limit of Study

Jurisdiction Boundary

Coastal Transect Baseline

Profile Baseline

Hydrographic Feature

Digital Data Available

No Digital Data Available

Unmapped

MAP PANELS

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 1/20/2021 at 11:47 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

145°42'21"E 15°10'37"N



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

OMB No. 2506-0177
(exp. 9/30/2021)

This Worksheet was designed to be used by those "Partners" (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Flood Insurance (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/flood-insurance>

1. Does this project involve mortgage insurance, refinance, acquisition, repairs, rehabilitation, or construction of a structure, mobile home, or insurable personal property?

☒ No. This project does not require flood insurance or is excepted from flood insurance.

→ Continue to the Worksheet Summary.

☐ Yes → Continue to Question 2.

2. Provide a FEMA/FIRM map showing the site.

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs).

Is the structure, part of the structure, or insurable property located in a FEMA-designated Special Flood Hazard Area?

☐ No → Continue to the Worksheet Summary.

☐ Yes → Continue to Question 3.

3. Is the community participating in the National Flood Insurance Program or has less than one year passed since FEMA notification of Special Flood Hazards?

☐ Yes, the community is participating in the National Flood Insurance Program.

Flood insurance is required. Provide a copy of the flood insurance policy declaration or a paid receipt for the current annual flood insurance premium and a copy of the application for flood insurance.

→ Continue to the Worksheet Summary.

☐ Yes, less than one year has passed since FEMA notification of Special Flood Hazards.

If less than one year has passed since notification of Special Flood Hazards, no flood Insurance is required.

→ Continue to the Worksheet Summary.

☐ No. The community is not participating, or its participation has been suspended.

Federal assistance may not be used at this location. Cancel the project at this location.

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

[Click here to enter text.](#)



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

OMB No. 2506-0177
(exp. 9/30/2021)

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Floodplain Management (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/floodplain-management>

1. Does **24 CFR 55.12(c)** exempt this project from compliance with HUD's floodplain management regulations in Part 55?

☐ Yes

Provide the applicable citation at 24 CFR 55.12(c) here. If project is exempt under 55.12(c)(6) or (8), provide supporting documentation.

Click here to enter text.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary.

☒ No → Continue to Question 2.

2. Provide a FEMA/FIRM map showing the site.

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs).

Does your project occur in a floodplain?

☐ No → Continue to the Worksheet Summary below.

☒ Yes

Select the applicable floodplain using the FEMA map or the best available information:

☐ Floodway → Continue to Question 3, Floodways

☐ Coastal High Hazard Area (V Zone) → Continue to Question 4, Coastal High Hazard Areas

☐ 500-year floodplain (B Zone or shaded X Zone) → Continue to Question 5, 500-year Floodplains

☒ 100-year floodplain (A Zone) → The 8-Step Process is required. Continue to Question 6, 8-Step Process

3. **Floodways**

Is this a functionally dependent use?

☒ Yes

The 8-Step Process is required. Work with HUD or the RE to assist with the 8-Step Process.
→ Continue to Worksheet Summary.

- ☐ No → *Federal assistance may not be used at this location unless an exception in 55.12(c) applies. You must either choose an alternate site or cancel the project.*

4. Coastal High Hazard Area

Is this a critical action such as a hospital, nursing home, fire station, or police station?

- ☐ Yes → *Critical actions are prohibited in coastal high hazard areas unless an exception in 55.12(c) applies. You must either choose an alternate site or cancel the project.*

- ☐ No

Does this action include new construction that is not a functionally dependent use, existing construction (including improvements), or reconstruction following destruction caused by a disaster?

- ☐ Yes, there is new construction of something that is not a functionally dependent use.
New construction must be designed to FEMA standards for V Zones at 44 CFR 60.3(e) (24 CFR 55.1(c)(3)(i)).

→ Continue to Question 6, 8-Step Process

- ☐ No, this action concerns only existing construction.

Existing construction must have met FEMA elevation and construction standards for a coastal high hazard area or other standards applicable at the time of construction.

→ Continue to Question 6, 8-Step Process

5. 500-year Floodplain

Is this a critical action?

- ☐ No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Continue to the Worksheet Summary below.*

- ☐ Yes → Continue to Question 6, 8-Step Process

6. 8-Step Process.

Is this 8-Step Process required? Select one of the following options:

- ☒ 8-Step Process applies.

This project will require mitigation and may require elevating structure or structures. See the link to the HUD Exchange above for information on HUD's elevation requirements.

→ Work with the RE/HUD to assist with the 8-Step Process. Continue to Worksheet Summary.

- ☐ 5-Step Process is applicable per 55.12(a)(1-3).

Provide the applicable citation at 24 CFR 55.12(a) here.

Click here to enter text.

→ Work with the RE/HUD to assist with the 5-Step Process. Continue to Worksheet Summary.

- ☐ 8-Step Process is inapplicable per 55.12(b)(1-4).

Provide the applicable citation at 24 CFR 55.12(b) here.

Click here to enter text.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

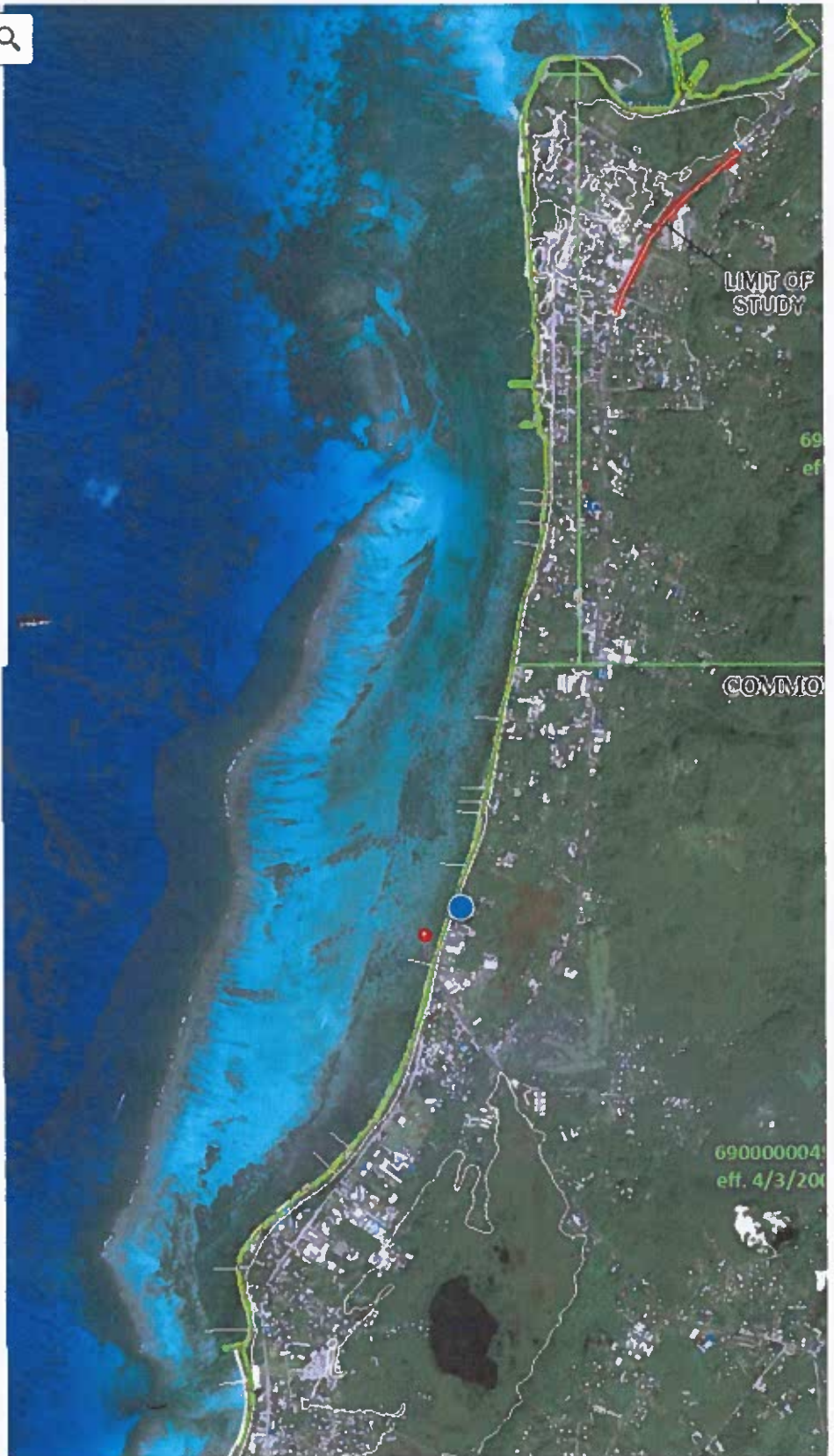
- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

Click here to enter text.



Find address or place



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Appendix D



NORTHERN MARIANAS HOUSING CORPORATION
Community Development Block Grant – Disaster Recovery (CDBG-DR) Division

P.O. BOX 500514, Saipan, MP 96950-0514

Email: cnmi-cdbg-dr@nmhcgov.net

Website: <http://www.cnmi-cdbgdr.com>

Tels: (670) 233-9447
233-9448
233-9449
233-9450
Fax: (670) 233-9452

January 8, 2021

Mr. Jonathan I. Arriola
Director
Division of Environmental Quality
P.O. Box 501304
Saipan, MP 96950

Dear Mr. Arriola:

The Northern Marianas Housing Corporation (NMHC) is in the process of preparing the Environmental Assessment Statutory Checklist (24 CFR § 58.35) for the **Department of Public Works' Beach Road Improvement Project**. The proposed road improvements begin from American Memorial Park to AK Toyota.

The proposed project will be funded by the Department of Housing and Urban Development (HUD) through the Community Development Block Grant-Disaster Recovery Program (CDBG-DR).

Before we commence any **Rehabilitation activity** on this road, we are required to obtain a certification from your office with respect to the following:

1. **Explosive or Flammable Operations:**

That the project is located at an Acceptable Separation Distance (ASD) from any above-ground explosive or flammable fuels or chemicals containers according to "Siting of HUD-Assistance Projects Near Hazardous Facilities" (Appendix F, pp.51-52), **OR** the project will expose neither people nor building to such hazards.

2. **Toxic/Hazardous/Radioactive, Material, Contamination, Chemical or Gases:**

That the project does not involve new development for habitation; **OR** the project involves new development for habitation, but is not located within one mile of an NPL ("Superfund") site, within ½ mile of a CERCLIS site, nor adjacent to any other known or suspected sited contaminated with toxic chemicals or radioactive source determines it does not pose a health hazard.

3. **Environmental Justice:**

That the project site is suitable for its proposed use and the project won't be adversely affected by existing environmental conditions.



Tinian Field Office
Tel: (670)433-9213
Fax: (670)433-3690

"NMHC is an equal employment and fair housing public agency"

CDBG-DR Office
Tel: (670)233-9447/9448/9449

Rota Field Office
Tel: (670)532-9410
Fax: (670)532-9441



NORTHERN MARIANAS HOUSING CORPORATION
Community Development Block Grant – Disaster Recovery (CDBG-DR) Division

P.O. BOX 500514, Saipan, MP 96950-0514

Email: cnmi-cdbg-dr@nmhcgov.net

Website: <http://www.cnmi-cdbgdr.com>

Tels: (670) 233-9447

233-9448

233-9449

233-9450

Fax: (670) 233-9452

4. Sole Source Aquifers:

That the project is not located within an area designed by EPA as being supported by sole source aquifer, **OR** the project need not be referred to EPA for evaluation according to the HUD-EPA (Region IX) Sole Source Aquifer Memorandum of Understanding of 1990.

5. Air Quality:

That the project is located within an "attainment" area, **OR** if within a "non-attainment" area, the project conforms with the EPA-approved State Implementation Plan (SIP), per contact with the State Air Quality Management District or Board.

6. Noise Abatement and Control:

That the project does not involve development of noise sensitive uses, **OR** the project is not within line-of-sight of an arterial roadway or railroad, **OR** ambient noise level is 65 LDN (or CNEL) or less, based upon the HUD Noise Assessment Guidelines (NAG) study for calculating noise levels.

7. Wild and Scenic Rivers:

That the project is not located within a mile of a listed Wild and Scenic River or that it will have no effects on the natural, free flowing or scenic qualities of a river.

8. Wetlands Protection:

That the project does not involve new construction within or adjacent to wetlands, marshes, wet meadows, mud flats or natural ponds per field observation and maps issued by the USDI Fish & Wildlife Service or U.S. Corps of Engineers.

Should your office determine the presence of explosives, flammable, toxic, hazardous, or radioactive materials on or within a mile of the above lot, please include the appropriate mitigation disclosure and clearance documents.

Thank you for your assistance, and we look forward to receiving your earliest response. Should you have any questions regarding this request, please let us know.

Sincerely,

Jesse S. Palacios
Corporate Director

Northern Marianas Housing Corporation



Tinian Field Office
Tel: (670)433-9213
Fax: (670)433-3690

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CDBG-DR Office
Tel: (670)233-9447/9448/9449

Rota Field Office
Tel: (670)532-9410
Fax: (670)532-9441



NORTHERN MARIANAS HOUSING CORPORATION
Community Development Block Grant – Disaster Recovery (CDBG-DR) Division

P.O. BOX 500514, Saipan, MP 96950-0514

Email: cnmi-cdbg-dr@nmhcgov.net

Website: <http://www.cnmi-cdbgdr.com>

Tels: (670) 233-9447

233-9448

233-9449

233-9450

Fax: (670) 233-9452

Division of Environmental Quality Concurrence:

Based on your requests above, the CNMI Division of Environmental Quality does not believe that this project will have a significant impact on the environment as defined by the National Environmental Policy Act. Your project may require permits from DEQ or other local or federal agencies, and your responsibility to obtain them is not obviated by this letter.

A handwritten signature in blue ink, appearing to read "Jonathan I. Arriola", is written over a horizontal line.

Jonathan I. Arriola, Director

Division of Environmental Quality

01/29/2021

Date



Tinian Field Office
Tel: (670)433-9213
Fax: (670)433-3690

“NMHC is an equal employment and fair housing public agency”

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Fax: (670)532-9441



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

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Air Quality (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/air-quality>

1. Does your project include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units?

☐ Yes → Continue to Question 2.

☒ No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Provide any documents used to make your determination.

2. Is your project's air quality management district or county in non-attainment or maintenance status for any criteria pollutants?

Follow the link below to determine compliance status of project county or air quality management district:

<http://www.epa.gov/oaqps001/greenbk/>

☐ No, project's county or air quality management district is in attainment status for all criteria pollutants

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.

☐ Yes, project's management district or county is in non-attainment or maintenance status for one or more criteria pollutants. → Continue to Question 3.

3. Determine the estimated emissions levels of your project for each of those criteria pollutants that are in non-attainment or maintenance status on your project area. Will your project exceed any of the *de minimis* or *threshold* emissions levels of non-attainment and maintenance level pollutants or exceed the screening levels established by the state or air quality management district?

☐ No, the project will not exceed *de minimis* or threshold emissions levels or screening levels

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Explain how you determined that the project would not exceed *de minimis* or threshold emissions.

☐ Yes, the project exceeds *de minimis* emissions levels or screening levels.

→ Continue to Question 4. Explain how you determined that the project would not exceed *de minimis* or threshold emissions in the Worksheet Summary.

4. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

[Click here to enter text.](#)

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

[Click here to enter text.](#)



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

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Contamination and Toxic Substances (Multifamily and Non-Residential Properties) – PARTNER

<https://www.hudexchange.info/programs/environmental-review/site-contamination>

1. How was site contamination evaluated?¹ Select all that apply.

- ☐ ASTM Phase I ESA
- ☐ ASTM Phase II ESA
- ☐ Remediation or clean-up plan
- ☐ ASTM Vapor Encroachment Screening
- ☒ None of the above

→ Provide documentation and reports and include an explanation of how site contamination was evaluated in the Worksheet Summary.

Continue to Question 2.

2. Were any on-site or nearby toxic, hazardous, or radioactive substances found that could affect the health and safety of project occupants or conflict with the intended use of the property? (Were any recognized environmental conditions or RECs identified in a Phase I ESA and confirmed in a Phase II ESA?)

- ☐ No → Explain below.

Click here to enter text.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

- ☐ Yes → Describe the findings, including any recognized environmental conditions (RECs), in Worksheet Summary below. Continue to Question 3.

3. Can adverse environmental impacts be mitigated?

¹ HUD regulations at 24 CFR § 58.5(i)(2)(ii) require that the environmental review for multifamily housing with five or more dwelling units or non-residential property include the evaluation of previous uses of the site or other evidence of contamination on or near the site. For acquisition and new construction of multifamily and nonresidential properties HUD strongly advises the review include an ASTM Phase I Environmental Site Assessment (ESA) to meet real estate transaction standards of due diligence and to help ensure compliance with HUD's toxic policy at 24 CFR §58.5(i) and 24 CFR §50.3(i). Also note that some HUD programs require an ASTM Phase I ESA.

☐ Adverse environmental impacts cannot feasibly be mitigated → HUD assistance may not be used for the project at this site. Project cannot proceed at this location.

☐ Yes, adverse environmental impacts can be eliminated through mitigation.
→ *Provide all mitigation requirements² and documents. Continue to Question 4.*

- 4. Describe how compliance was achieved. Include any of the following that apply: State Voluntary Clean-up Program, a No Further Action letter, use of engineering controls³, or use of institutional controls⁴.**

[Click here to enter text.](#)

If a remediation plan or clean-up program was necessary, which standard does it follow?

- ☐ Complete removal
☐ Risk-based corrective action (RBCA)

→ *Continue to the Worksheet Summary.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

[Click here to enter text.](#)

² Mitigation requirements include all clean-up actions required by applicable federal, state, tribal, or local law. Additionally, provide, as applicable, the long-term operations and maintenance plan, Remedial Action Work Plan, and other equivalent documents.

³ Engineering controls are any physical mechanism used to contain or stabilize contamination or ensure the effectiveness of a remedial action. Engineering controls may include, without limitation, caps, covers, dikes, trenches, leachate collection systems, signs, fences, physical access controls, ground water monitoring systems and ground water containment systems including, without limitation, slurry walls and ground water pumping systems.

⁴ Institutional controls are mechanisms used to limit human activities at or near a contaminated site, or to ensure the effectiveness of the remedial action over time, when contaminants remain at a site at levels above the applicable remediation standard which would allow for unrestricted use of the property. Institutional controls may include structure, land, and natural resource use restrictions, well restriction areas, classification exception areas, deed notices, and declarations of environmental restrictions.



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Explosive and Flammable Hazards (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/explosive-and-flammable-facilities>

- 1. Does the proposed HUD-assisted project include a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries)?**

☒ No

→ Continue to Question 2.

☐ Yes

Explain:

Click here to enter text.

→ Continue to Question 5.

- 2. Does this project include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion?**

☒ No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

☐ Yes → Continue to Question 3.

- 3. Within 1 mile of the project site, are there any current or planned stationary aboveground storage containers:**

- Of more than 100-gallon capacity, containing common liquid industrial fuels OR
- Of any capacity, containing hazardous liquids or gases that are not common liquid industrial fuels?

☐ No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide all documents used to make your determination.

☒ Yes → Continue to Question 4.

- 4. Is the Separation Distance from the project acceptable based on standards in the Regulation?**

Please visit HUD's website for information on calculating Acceptable Separation Distance.

☐ Yes

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

Provide map(s) showing the location of the project site relative to any tanks and your separation distance calculations. If the map identifies more than one tank, please identify the tank you have chosen as the "assessed tank."

☐ No

→ Continue to Question 6.

Provide map(s) showing the location of the project site relative to any tanks and your separation distance calculations. If the map identifies more than one tank, please identify the tank you have chosen as the "assessed tank."

5. Is the hazardous facility located at an acceptable separation distance from residences and any other facility or area where people may congregate or be present?

Please visit HUD's website for information on calculating Acceptable Separation Distance.

☐ Yes

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

Provide map(s) showing the location of the project site relative to residences and any other facility or area where people congregate or are present and your separation distance calculations.

☐ No

→ Continue to Question 6.

Provide map(s) showing the location of the project site relative to residences and any other facility or area where people congregate or are present and your separation distance calculations.

6. For the project to be brought into compliance with this section, all adverse impacts must be mitigated. Explain in detail the exact measures that must be implemented to make the Separation Distance acceptable, including the timeline for implementation. If negative effects cannot be mitigated, cancel the project at this location.

Note that only licensed professional engineers should design and implement blast barriers. If a barrier will be used or the project will be modified to compensate for an unacceptable separation distance, provide approval from a licensed professional engineer.

[Click here to enter text.](#)

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

[Click here to enter text.](#)



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

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Noise (EA Level Reviews) – PARTNER

<https://www.hudexchange.info/programs/environmental-review/noise-abatement-and-control>

1. What activities does your project involve? Check all that apply:

- ☐ New construction for residential use

NOTE: HUD assistance to new construction projects is generally prohibited if they are located in an Unacceptable zone, and HUD discourages assistance for new construction projects in Normally Unacceptable zones. See 24 CFR 51.101(a)(3) for further details.

→ Continue to Question 2.

- ☐ Rehabilitation of an existing residential property

NOTE: For major or substantial rehabilitation in Normally Unacceptable zones, HUD encourages mitigation to reduce levels to acceptable compliance standards. For major rehabilitation in Unacceptable zones, HUD strongly encourages mitigation to reduce levels to acceptable compliance standards. See 24 CFR 51 Subpart B for further details.

→ Continue to Question 2.

- ☒ None of the above

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

2. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000' from a major road, 3000' from a railroad, or 15 miles from an airport).

Indicate the findings of the Preliminary Screening below:

- ☐ There are no noise generators found within the threshold distances above.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map showing the location of the project relative to any noise generators.

- ☐ Noise generators were found within the threshold distances.

→ Continue to Question 3.

3. Complete the Noise Assessment Guidelines to quantify the noise exposure. Indicate the findings of the Noise Assessment below:

- ☐ Acceptable (65 decibels or less; the ceiling may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

Indicate noise level here: Click here to enter text.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide noise analysis, including noise level and data used to complete the analysis.*

- ☐ Normally Unacceptable: (Above 65 decibels but not exceeding 75 decibels; the floor may be shifted to 70 decibels in circumstances described in 24 CFR 51.105(a))

Indicate noise level here: Click here to enter text.

If project is rehabilitation:

→ *Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis.*

If project is new construction:

Is the project in a largely undeveloped area¹?

☐ No

☐ Yes → ***The project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i).***

→ *Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis.*

- ☐ Unacceptable: (Above 75 decibels)

Indicate noise level here: Click here to enter text.

If project is rehabilitation:

HUD strongly encourages conversion of noise-exposed sites to land uses compatible with high noise levels. Consider converting this property to a non-residential use compatible with high noise levels.

→ *Continue to Question 4. Provide noise analysis, including noise level and data used to complete the analysis, and any other relevant information.*

If project is new construction:

The project requires completion of an Environmental Impact Statement (EIS) pursuant to 51.104(b)(1)(i). Work with HUD or the RE to either complete an EIS or obtain a waiver signed by the appropriate authority.

→ *Continue to Question 4.*

- 4. HUD strongly encourages mitigation be used to eliminate adverse noise impacts. Work with the RE/HUD on the development of the mitigation measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.**

- ☐ Mitigation as follows will be implemented:

Click here to enter text.

¹ A largely undeveloped area means the area within 2 miles of the project site is less than 50 percent developed with urban uses and does not have water and sewer capacity to serve the project.

→ *Provide drawings, specifications, and other materials as needed to describe the project's noise mitigation measures.*
Continue to the Worksheet Summary.

☐ No mitigation is necessary.

Explain why mitigation will not be made here:

[Click here to enter text.](#)

→ *Continue to the Worksheet Summary.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

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Attached Letter from CNMI Division of Environmental Quality



U.S. Fish and Wildlife Service

National Wetlands Inventory

Beach Road from Atkins Kroll Intersection



November 1, 2021

Wetlands

- | | | | |
|--|-----------------------------------|--|----------|
| | Freshwater Emergent Wetland | | Lake |
| | Freshwater Forested/Shrub Wetland | | Other |
| | Freshwater Pond | | Riverine |
| | Estuarine and Marine Deepwater | | |
| | Estuarine and Marine Wetland | | |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

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Wetlands (CEST and EA) – Partner

<https://www.hudexchange.info/environmental-review/wetlands-protection>

1. Does this project involve new construction as defined in Executive Order 11990, expansion of a building's footprint, or ground disturbance?

The term "new construction" includes draining, dredging, channelizing, filling, diking, impounding, and related activities and construction of any any structures or facilities.

☐ No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

☒ Yes → Continue to Question 2.

2. Will the new construction or other ground disturbance impact a wetland as defined in E.O. 11990?

☒ No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide a map or any other relevant documentation to explain your determination.

☐ Yes → Work with HUD or the RE to assist with the 8-Step Process. Continue to Question 3.

3. Does Section 55.12 state that the 8-Step Process is not required?

☐ No, the 8-Step Process applies.

This project will require mitigation and may require elevating structure or structures. See the link to the HUD Exchange above for information on HUD's elevation requirements.

→ Work with the RE/HUD to assist with the 8-Step Process. Continue to Worksheet Summary.

☐ 5-Step Process is applicable per 55.12(a).

Provide the applicable citation at 24 CFR 55.12(a) here.

Click here to enter text.

→ Work with the RE/HUD to assist with the 5-Step Process. This project may require mitigation or alternations. Continue to Worksheet Summary.

☐ 8-Step Process is inapplicable per 55.12(b).

Provide the applicable citation at 24 CFR 55.12(b) here.

Click here to enter text.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to Worksheet Summary.

☐ 8-Step Process is inapplicable per 55.12(c).

Provide the applicable citation at 24 CFR 55.12(c) here.

[Click here to enter text.](#)

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to Worksheet Summary.

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

[Click here to enter text.](#)

Assessment of ASD and ASTs

[illegible]

The Beach Road Improvement Project is within the Acceptable Separation Distances from the Above Storage Tanks.

*****P/S. see attached chart provided by DEQ.**

Appendix E



Commonwealth of the Northern Mariana Islands

Division of Fish & Wildlife

Department of Lands and Natural Resources

Lower Base, P.O. Box 10007
Saipan, MP 96950



Telephone: 670-664-6000
Fax: 670-664-6060

January 11, 2021

Jesse Palacios
Corporate Director, NMHC
PO Box 500514
Saipan, MP 96950-0514

Subject: Information Request (#IR-21-07), NMHC Request for a Determination of Effects for Wetlands and Endangered Species

Dear Mr. Jesse Palacios:

You requested information from the Division of Fish and Wildlife regarding potential environmental impacts from two new construction projects on Saipan. We reviewed your information request, including supporting information and maps. Please note that DFW does not have jurisdiction over wetlands or rivers and offering guidance on such matters is outside of our scope. Please contact the Bureau of Environmental and Coastal Quality for further guidance pertaining to wetlands or rivers.

Our comments regarding potential special status species impacts follow:

1) **Department of Public Work's Road Improvement Project: Beach Road to Pacific Island Club, Saipan**

The scope of work involves improvements to an existing road; therefore, vegetation removal is not anticipated. DFW has no record of special status species on this or the immediately adjacent lots and we do not anticipate impacts to T&E species from this project.

2) **Department of Public Work's Flood Mitigation Project: Chili Street, San Jose, Saipan**

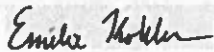
The scope of work involves improvements to an existing road; therefore, vegetation removal is not anticipated. DFW has no record of special status species on this or the immediately adjacent lots and we do not anticipate impacts to T&E species from this project

We did not conduct on-the-ground inspections of the sites. If the scope of the work changes or if vegetation at the site is not maintained (e.g., grasses allowed to grow > 1 m tall) there is an increased likelihood that T&E species may be impacted. In such instances, we recommend that you contact DFW directly or submit a One Start application to BECQ, which will also trigger wildlife assessment by DFW. Our response is based solely on the information you provided, our current knowledge, and professional experience.

This letter is not a permit or approval of the proposed projects. Instead, the information that we provide may assist you in project planning, including information required to comply with the preparation of an Environmental Assessment Statutory Checklist.

If you have any questions, or I can be of further assistance, please don't hesitate to contact me at 664-6032.

Sincerely,



Emilie Kohler
Wildlife Biologist, DFW

CC: Anthony T. Benavente, Secretary, DLNR
Manny M. Pangelinan, Director, DFW



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

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Endangered Species Act (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/endangered-species>

1. Does the project involve any activities that have the potential to affect species or habitats?

☒ No, the project will have No Effect due to the nature of the activities involved in the project.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section.
Continue to the Worksheet Summary below. Provide any documents used to make your determination.

☐ No, the project will have No Effect based on a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office.

Explain your determination:

Click here to enter text.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section.
Continue to the Worksheet Summary below. Provide any documents used to make your determination.

☐ Yes, the activities involved in the project have the potential to affect species and/or habitats. →
Continue to Question 2.

2. Are federally listed species or designated critical habitats present in the action area?

Obtain a list of protected species from the Services. This information is available on the [FWS Website](#).

☒ No, the project will have No Effect due to the absence of federally listed species and designated critical habitat.

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section.
Continue to the Worksheet Summary below. Provide any documents used to make your determination. Documentation may include letters from the Services, species lists from the Services' websites, surveys or other documents and analysis showing that there are no species in the action area.

☐ Yes, there are federally listed species or designated critical habitats present in the action area. →
Continue to Question 3.

3. Recommend one of the following effects that the project will have on federally listed species or designated critical habitat:

☒ **No Effect:** Based on the specifics of both the project and any federally listed species in the action area, you have determined that the project will have absolutely no effect on listed species or critical habitat.

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination. Documentation should include a species list and explanation of your conclusion, and may require maps, photographs, and surveys as appropriate.*

☐ **May Affect, Not Likely to Adversely Affect:** Any effects that the project may have on federally listed species or critical habitats would be beneficial, discountable, or insignificant.

→ Partner entities should not contact the Services directly. *If the RE/HUD agrees with this recommendation, they will have to complete Informal Consultation. Provide the RE/HUD with a biological evaluation or equivalent document. They may request additional information, including surveys and professional analysis, to complete their consultation.*

☐ **Likely to Adversely Affect:** The project may have negative effects on one or more listed species or critical habitat.

→ Partner entities should not contact the Services directly. *If the RE/HUD agrees with this recommendation, they will have to complete Formal Consultation. Provide the RE/HUD with a biological evaluation or equivalent document. They may request additional information, including surveys and professional analysis, to complete their consultation.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

Click here to enter text.

Appendix F

U.S. Department of Agriculture

FARMLAND CONVERSION IMPACT RATING

PART I (To be completed by Federal Agency)		Date Of Land Evaluation Request 01/06/2021			
Name of Project DPW Beach Rd. Improvement		Federal Agency Involved NMHC			
Proposed Land Use Road Rehab		County and State Beach Road, Saipan			
PART II (To be completed by NRCS)		Date Request Received By NRCS 11 January 2021		Person Completing Form: Pam Sablan	
Does the site contain Prime, Unique, Statewide or Local Important Farmland? (If no, the FPPA does not apply - do not complete additional parts of this form)		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		Acres Irrigated	
				Average Farm Size	
Major Crop(s)	Farmable Land In Govt. Jurisdiction Acres: %	Amount of Farmland As Defined in FPPA Acres: %			
Name of Land Evaluation System Used	Name of State or Local Site Assessment System	Date Land Evaluation Returned by NRCS			
PART III (To be completed by Federal Agency)		Alternative Site Rating			
		Site A	Site B	Site C	Site D
A. Total Acres To Be Converted Directly		N/A			
B. Total Acres To Be Converted Indirectly		N/A			
C. Total Acres In Site		N/A			
PART IV (To be completed by NRCS) Land Evaluation Information		N/A			
A. Total Acres Prime And Unique Farmland		N/A			
B. Total Acres Statewide Important or Local Important Farmland		N/A			
C. Percentage Of Farmland in County Or Local Govt. Unit To Be Converted		N/A			
D. Percentage Of Farmland in Govt. Jurisdiction With Same Or Higher Relative Value		N/A			
PART V (To be completed by NRCS) Land Evaluation Criterion Relative Value of Farmland To Be Converted (Scale of 0 to 100 Points)		N/A			
PART VI (To be completed by Federal Agency) Site Assessment Criteria (Criteria are explained in 7 CFR 658.5 b. For Corridor project use form NRCS-CPA-106)		Maximum Points	Site A	Site B	Site C
1. Area In Non-urban Use		(15)	N/A		
2. Perimeter In Non-urban Use		(10)	N/A		
3. Percent Of Site Being Farmed		(20)	N/A		
4. Protection Provided By State and Local Government		(20)	N/A		
5. Distance From Urban Built-up Area		(15)	N/A		
6. Distance To Urban Support Services		(15)	N/A		
7. Size Of Present Farm Unit Compared To Average		(10)	N/A		
8. Creation Of Non-farmable Farmland		(10)	N/A		
9. Availability Of Farm Support Services		(5)	N/A		
10. On-Farm Investments		(20)	N/A		
11. Effects Of Conversion On Farm Support Services		(10)	N/A		
12. Compatibility With Existing Agricultural Use		(10)	N/A		
TOTAL SITE ASSESSMENT POINTS		160	0	0	0
PART VII (To be completed by Federal Agency)					
Relative Value Of Farmland (From Part V)		100	0	0	0
Total Site Assessment (From Part VI above or local site assessment)		160	0	0	0
TOTAL POINTS (Total of above 2 lines)		260	0	0	0
Site Selected:		Date Of Selection		Was A Local Site Assessment Used?	
				YES <input type="checkbox"/> NO <input type="checkbox"/>	
Reason For Selection:					

PAMELA SABLAN

Digitally signed by PAMELA SABLAN
Date: 2021.01.11 16:01:24 +10'00'Name of Federal agency representative completing this form: **Pamela M. Sablan, District Conservationist** Date: **11 Jan. 2021**

(See Instructions on reverse side)

Form AD-1006 (03-0)

STEPS IN THE PROCESSING THE FARMLAND AND CONVERSION IMPACT RATING FORM

- Step 1 - Federal agencies (or Federally funded projects) involved in proposed projects that may convert farmland, as defined in the Farmland Protection Policy Act (FPPA) to nonagricultural uses, will initially complete Parts I and III of the form. For Corridor type projects, the Federal agency shall use form NRCS-CPA-106 in place of form AD-1006. The Land Evaluation and Site Assessment (LESA) process may also be accessed by visiting the FPPA website, <http://fppa.nrcs.usda.gov/lesa>
- Step 2 - Originator (Federal Agency) will send one original copy of the form together with appropriate scaled maps indicating location(s) of project site(s), to the Natural Resources Conservation Service (NRCS) local Field Office or USDA Service Center and retain a copy for their files. (NRCS has offices in most counties in the U.S. The USDA Office Information Locator may be found at http://offices.usda.gov/scripts/ndISAPI.dll?oip_public/USA_map, or the offices can usually be found in the Phone Book under U.S. Government, Department of Agriculture. A list of field offices is available from the NRCS State Conservationist and State Office in each State.)
- Step 3 - NRCS will, within 10 working days after receipt of the completed form, make a determination as to whether the site(s) of the proposed project contains prime, unique, statewide or local important farmland. (When a site visit or land evaluation system design is needed, NRCS will respond within 30 working days.)
- Step 4 - For sites where farmland covered by the FPPA will be converted by the proposed project, NRCS will complete Parts II, IV and V of the form.
- Step 5 - NRCS will return the original copy of the form to the Federal agency involved in the project, and retain a file copy for NRCS records.
- Step 6 - The Federal agency involved in the proposed project will complete Parts VI and VII of the form and return the form with the final selected site to the servicing NRCS office.
- Step 7 - The Federal agency providing financial or technical assistance to the proposed project will make a determination as to whether the proposed conversion is consistent with the FPPA.

INSTRUCTIONS FOR COMPLETING THE FARMLAND CONVERSION IMPACT RATING FORM ***(For Federal Agency)***

Part I: When completing the "County and State" questions, list all the local governments that are responsible for local land use controls where site(s) are to be evaluated.

Part III: When completing item B (Total Acres To Be Converted Indirectly), include the following:

1. Acres not being directly converted but that would no longer be capable of being farmed after the conversion, because the conversion would restrict access to them or other major change in the ability to use the land for agriculture.
2. Acres planned to receive services from an infrastructure project as indicated in the project justification (e.g. highways, utilities planned build out capacity) that will cause a direct conversion.

Part VI: Do not complete Part VI using the standard format if a State or Local site assessment is used. With local and NRCS assistance, use the local Land Evaluation and Site Assessment (LESA).

1. Assign the maximum points for each site assessment criterion as shown in § 658.5(b) of CFR. In cases of corridor-type project such as transportation, power line and flood control, criteria #5 and #6 will not apply and will be weighted zero, however, criterion #8 will be weighed a maximum of 25 points and criterion #11 a maximum of 25 points.
2. Federal agencies may assign relative weights among the 12 site assessment criteria other than those shown on the FPPA rule after submitting individual agency FPPA policy for review and comment to NRCS. In all cases where other weights are assigned, relative adjustments must be made to maintain the maximum total points at 160. For project sites where the total points equal or exceed 160, consider alternative actions, as appropriate, that could reduce adverse impacts (e.g. Alternative Sites, Modifications or Mitigation).

Part VII: In computing the "Total Site Assessment Points" where a State or local site assessment is used and the total maximum number of points is other than 160, convert the site assessment points to a base of 160.

Example: if the Site Assessment maximum is 200 points, and the alternative Site "A" is rated 180 points:

$\frac{\text{Total points assigned Site A}}{\text{Maximum points possible}} = \frac{180}{200} \times 160 = 144 \text{ points for Site A}$

For assistance in completing this form or FPPA process, contact the local NRCS Field Office or USDA Service Center.

NRCS employees, consult the FPPA Manual and/or policy for additional instructions to complete the AD-1006 form.

Prime and Unique Farmlands Map

USDA-NRCS

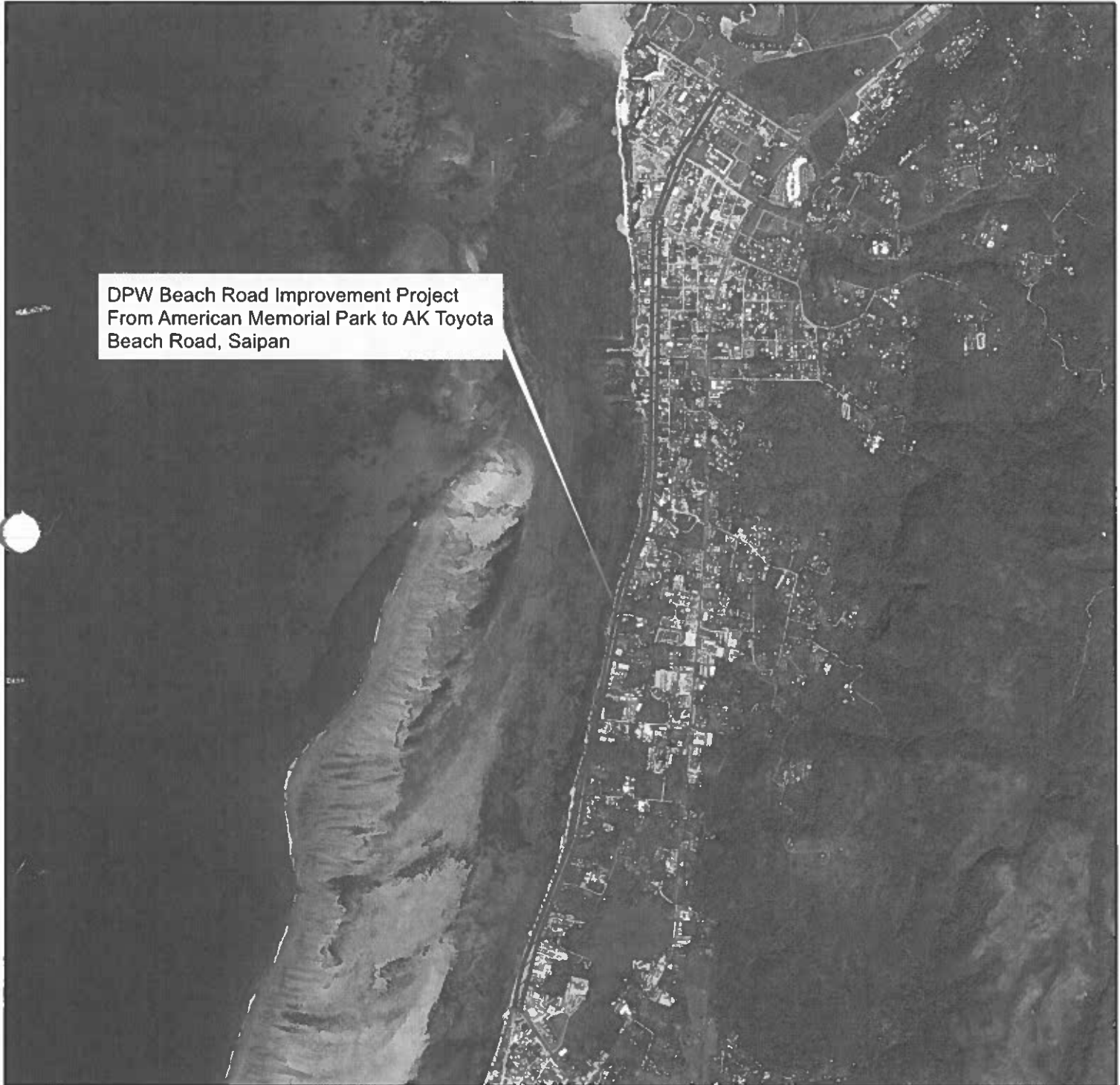
Map Prepared by Pamela M. Sablan, District Conservationist - 01/11/2021

Response to Categorically Excluded Statutory Checklist

"Proposed DPW Beach Road Improvement Project-Rehabilitation, Beach Road, Saipan"



DPW Beach Road Improvement Project
From American Memorial Park to AK Toyota
Beach Road, Saipan



2,500 1,250 0 2,500 5,000 Feet

Prepared with assistance from USDA-Natural Resources Conservation Service

Legend

 Project Location





U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those "Partners" (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Farmlands Protection (CEST and EA) - PARTNER

<https://www.hudexchange.info/environmental-review/farmlands-protection>

1. Does your project include any activities, including new construction, acquisition of undeveloped land or conversion, that could convert agricultural land to a non-agricultural use?

☐ Yes → Continue to Question 2.

☒ No

→ If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below.

2. Does "important farmland," including prime farmland, unique farmland, or farmland of statewide or local importance regulated under the Farmland Protection Policy Act, occur on the project site?

You may use the links below to determine important farmland occurs on the project site:

- Utilize USDA Natural Resources Conservation Service's (NRCS) Web Soil Survey <http://websoilsurvey.nrcs.usda.gov/app/HomePage.htm>
- Check with your city or county's planning department and ask them to document if the project is on land regulated by the FPPA (zoning important farmland as non-agricultural does not exempt it from FPPA requirements)
- Contact NRCS at the local USDA service center <http://offices.sc.egov.usda.gov/locator/app?agency=nrcs> or your NRCS state soil scientist http://soils.usda.gov/contact/state_offices/ for assistance

☐ No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide any documents used to make your determination.

☐ Yes → Continue to Question 3.

3. Consider alternatives to completing the project on important farmland and means of avoiding impacts to important farmland.

- Complete form [AD-1006, "Farmland Conversion Impact Rating"](#) and contact the state soil scientist before sending it to the local NRCS District Conservationist.
- Work with NRCS to minimize the impact of the project on the protected farmland. When you have finished with your analysis, return a copy of form AD-1006 to the USDA-NRCS State Soil Scientist or his/her designee informing them of your determination.

Work with the RE/HUD to determine how the project will proceed. Document the conclusion:

☐ Project will proceed with mitigation.

Explain in detail the proposed measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation.

[Click here to enter text.](#)

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide form AD-1006 and all other documents used to make your determination.*

☐ Project will proceed without mitigation.

Explain why mitigation will not be made here:

[Click here to enter text.](#)

→ *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide form AD-1006 and all other documents used to make your determination.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

[Click here to enter text.](#)

Appendix G



NORTHERN MARIANAS HOUSING CORPORATION
Community Development Block Grant – Disaster Recovery (CDBG-DR) Division

P.O. BOX 500514, Saipan, MP 96950-0514

Email: cnmi-cdbg-dr@nmhcgov.net

Website: <http://www.cnmi-cdbgdr.com>

Tels (670) 233-9447
233-9448
233-9449
233-9450
Fax: (670) 233-9452

January 8, 2021

Ms. Geralyn C. Delacruz
Zoning Administrator
Zoning Board
Caller Box 10007
Saipan, MP 96950

Re: Request for Zoning Certification

Dear Ms. Delacruz,

The Northern Marianas Housing Corporation (NMHC) is in the process of preparing the Environmental Assessment Statutory Checklist (24 CFR § 58.35) for the **Department of Public Works' Beach Road Improvement Project**. The proposed road improvements begin from American Memorial Park to AK Toyota.

The proposed project will be funded by the Department of Housing and Urban Development (HUD) through the Community Development Block Grant-Disaster Recovery Program (CDBG-DR).

NMHC is kindly requesting for your concurrence in certifying that the project is acceptable based on the Zoning Law. This concurrence will not constitute as approval for a permit.

If you have any questions or concerns, please do not hesitate to contact myself or Ms. Jatanna Cabrera at the numbers listed above.

Sincerely,


Jesse S. Palacios
Corporate Director



**NMHC- CDBG-DR
RECEIVED**

By: ZCA

Date: 04/20/2021

Time: 2:40 PM



Tinian Field Office
Tel: (670)433-9213
Fax: (670)433-3690

"NMHC is an equal employment and fair housing public agency"

CDBG-DR Office
Tel: (670)233-9447/9448/9449

Rota Field Office
Tel: (670)532-9410
Fax: (670)532-9441



NORTHERN MARIANAS HOUSING CORPORATION
Community Development Block Grant – Disaster Recovery (CDBG-DR) Division

P.O. BOX 500514, Saipan, MP 96950-0514

Email: cnmi-cdbg-dr@nmhc.gov.net

Website: <http://www.cnmi-cdbgdr.com>

Tels: (670) 233-9447

233-9448

233-9449

233-9450

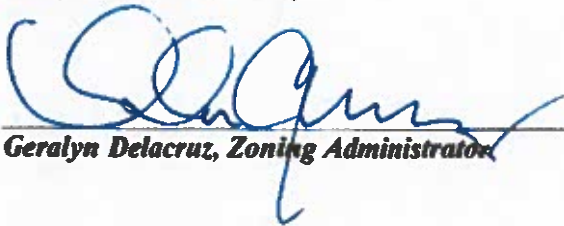
Fax: (670) 233-9452

(Zoning Use)

This certification is granted to the Northern Marianas Housing Corporation (NMHC) to proceed with their project based on Section 411 (c) (citation) of the Saipan Zoning Law.

This certification will not constitute as an approval for a permit. The NMHC and/or Contractor must apply for a permit prior to any construction work. If the NMHC and/or Contractor fails to apply for a Zoning permit, the Zoning Office will issue a violation notice and impose fines for failure to abide by the Zoning Law.

Certified & Concurred by:


Geraldyn Delacruz, Zoning Administrator

4/20/2021
Date



Tinian Field Office
Tel: (670)433-9213
Fax: (670)433-3690

“NMHC is an equal employment and fair housing public agency”

CDBG-DR Office
Tel: (670)233-9447/9448/9449

Rota Field Office
Tel: (670)532-9410
Fax: (670)532-9441

Appendix H



Pacific Southwest, Region 9

Serving: Arizona, California, Hawaii, Nevada, Pacific Islands, Tribal Nations

Ground Water

Ground Water Quick Finder

[Ground Water Home](#)
[Class V Wells](#)
[Cesspools in Hawaii](#)

[Onsite Sewage Treatment Permits](#)

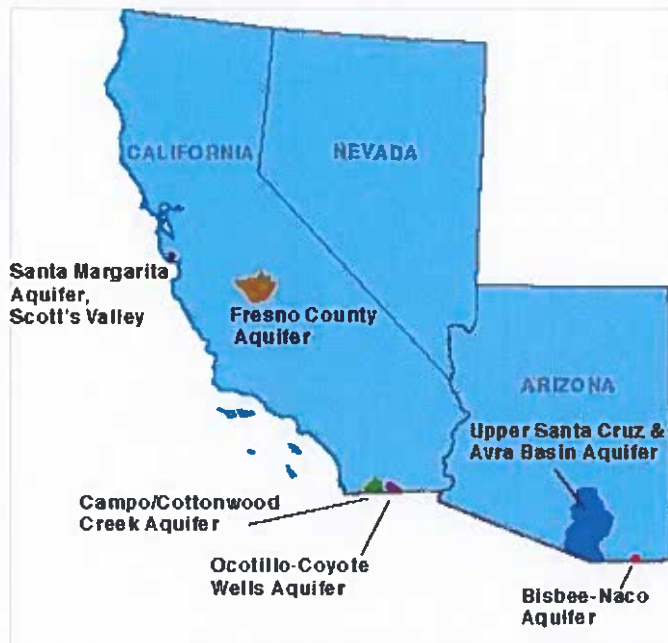
[Sole Source Aquifer Source Water Protection](#)

[Tribal Water Protection Underground Injection Wells](#)

Sole Source Aquifer

The EPA's Sole Source Aquifer (SSA) Program was established under Section 1424(e) of the Safe Drinking Water Act (SDWA.) Since 1977, it has been used by communities to help prevent contamination of groundwater from federally-funded projects. It has increased public awareness of the vulnerability of groundwater resources. The SSA program allows for [EPA environmental review \(PDF\)](#) (1pg. 34K) of any project which is financially assisted by federal grants or federal loan guarantees. These projects are evaluated to determine whether they have the potential to contaminate a sole source aquifer.

In Region 9, nine sole source aquifers have been designated:



National Links

[EPA Ground Water & Drinking Water Home](#)

You will need Adobe Reader to view some of the files on this page. See [EPA's PDF page](#) to learn more about PDF, and for a link to the free Adobe Reader.

Maps

Click [here for a national layer](#) including all available coverage for [Sole Source Aquifers \(SSA\)](#) that can be used in Geographic Information Systems (GIS)

State	Sole Source Aquifer Name	Federal Reg. Cit	Publ. Date	Map
AZ	Upper Santa Cruz & Avra Basin Aquifer	49 FR 2948	01/24/84	KMZ PDF (1 pg. 1.3M)
AZ	Bisbee-Naco Aquifer	53 FR 38337	09/30/88	KMZ PDF (1 pg. 175K)
CA	Fresno County Aquifer	44 FR 52751	09/10/79	KMZ PDF (1 pg. 1.3M)
CA	Santa Margarita Aquifer, Scotts Valley	50 FR 2023	01/14/85	KMZ PDF (1 pg. 434K)
CA	Campo/Cottonwood Creek	58 FR 31024	05/28/93	KMZ PDF (1 pg. 321K)
CA	Ocotillo-Coyote Wells Aquifer	61 FR 47752	09/10/96	KMZ PDF (1 pg. 337K)
GU	Northern Guam Aquifer System	43 FR 17867	04/26/78	KMZ PDF (1 pg. 400K)

State	Sole Source Aquifer Name	Federal Reg. Cit	Publ. Date	Map
HI	Southern Oahu Basal Aquifer	52 FR 45496	11/30/87	KMZ PDF (1 pg, 716K)
HI	Molokai Aquifer	59 FR 23063	04/20/93	KMZ PDF (1 pg, 146K)

A map of all nationally designated SSAs is also [available on the Source Water Protection Publications Database](#).

For more information, please contact the Ground Water Office at 415-972-3971 or visit the national [EPA Sole Source Aquifer Program](#) site.

Outreach Documents

[Sole Source Aquifer Fact Sheet \(PDF\)](#) (1pg, 34K)

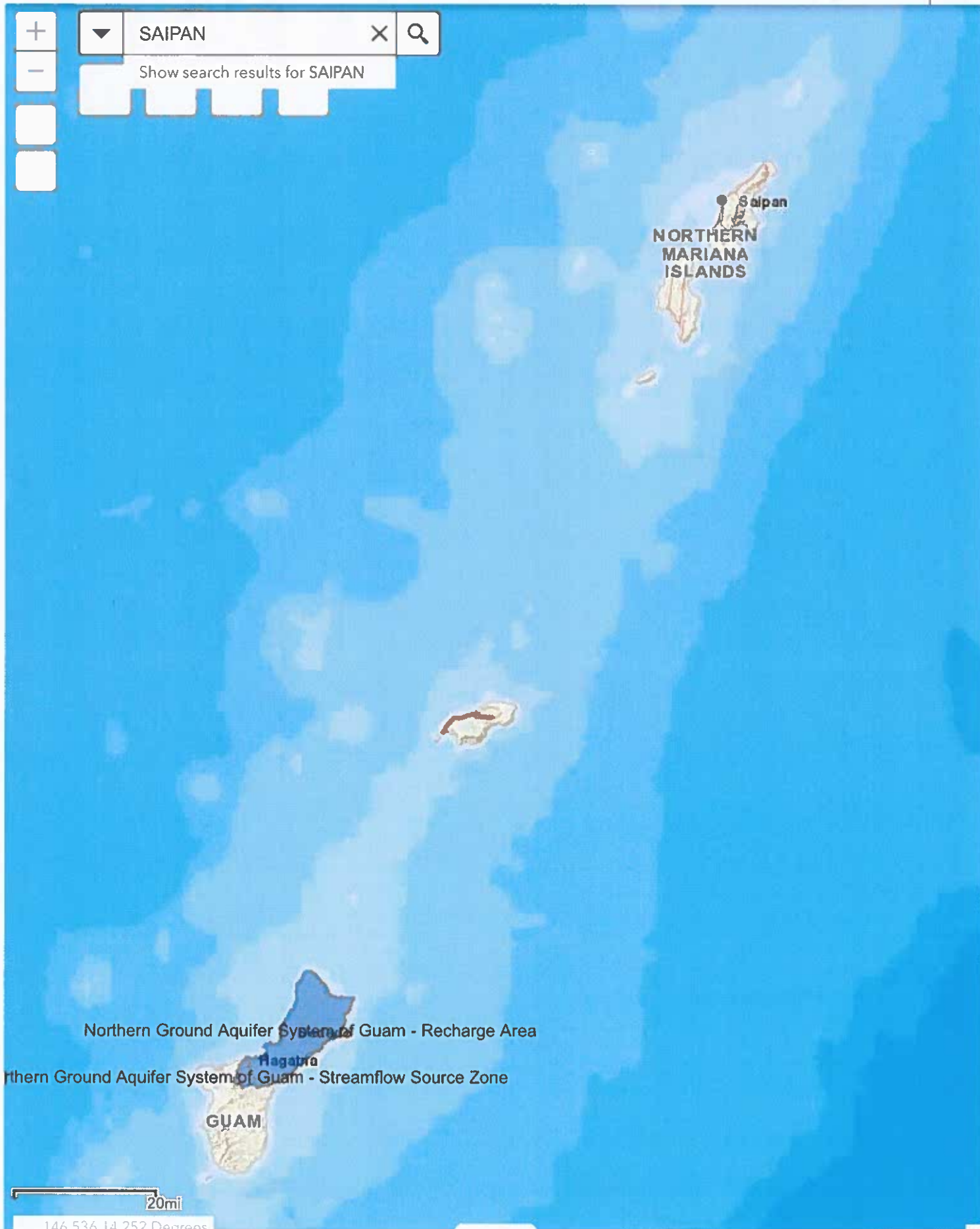
For Project Planners: [What to submit for EPA review of proposed projects \(PDF\)](#) (1pg, 34K)

Contact Information

See the [Sole Source Aquifer section](#) of the Ground Water contacts page.



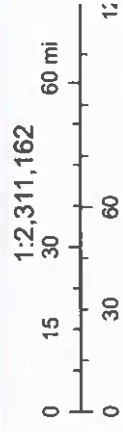
Sole Source Aquifers





11/1/2021, 11:54:03 AM

Sole_Source_Aquifers



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), OpenStreetMap contributors, and the GIS User Community



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those "Partners" (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Sole Source Aquifers (CEST and EA) - PARTNER

<https://www.hudexchange.info/environmental-review/sole-source-aquifers>

1. Is the project located on a sole source aquifer (SSA)¹?

☒ No → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination, such as a map of your project or jurisdiction in relation to the nearest SSA.

☐ Yes → Continue to Question 2.

2. Does the project consist solely of acquisition, leasing, or rehabilitation of an existing building(s)?

☐ Yes → The review is in compliance with this section. Continue to the Worksheet Summary below.

☐ No → Continue to Question 3.

3. Does your region have a memorandum of understanding (MOU) or other working agreement with EPA for HUD projects impacting a sole source aquifer?

Contact your Field or Regional Environmental Officer or visit the HUD webpage at the link above to determine if an MOU or agreement exists in your area.

☐ Yes → Continue to Question 4.

☐ No → Continue to Question 5.

4. Does your MOU or working agreement exclude your project from further review?

☐ Yes → If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide documentation used to make your determination and document where your project fits within the MOU or agreement.

☐ No → Continue to Question 5.

5. Will the proposed project contaminate the aquifer and create a significant hazard to public health?

Consult with your Regional EPA Office. Your consultation request should include detailed information about your proposed project and its relationship to the aquifer and associated streamflow source area. EPA will also want to know about water, storm water and waste water at the proposed project. Follow

¹ A sole source aquifer is defined as an aquifer that supplies at least 50 percent of the drinking water consumed in the area overlying the aquifer. This includes streamflow source areas, which are upstream areas of losing streams that flow into the recharge area.

your MOU or working agreement or contact your Regional EPA office for specific information you may need to provide. EPA may request additional information if impacts to the aquifer are questionable after this information is submitted for review.

- ☐ No → *If the RE/HUD agrees with this recommendation, the review is in compliance with this section. Continue to the Worksheet Summary below. Provide your correspondence with the EPA and all documents used to make your determination.*
- ☐ Yes → *The RE/HUD will work with EPA to develop mitigation measures. If mitigation measures are approved, attach correspondence with EPA and include the mitigation measures in your environmental review documents and project contracts. If EPA determines that the project continues to pose a significant risk to the aquifer, federal financial assistance must be denied. Continue to Question 6.*

Worksheet Summary

Provide a full description of your determination and a synopsis of the information that it was based on, such as:

- Map panel numbers and dates
- Names of all consulted parties and relevant consultation dates
- Names of plans or reports and relevant page numbers
- Any additional requirements specific to your program or region

Include all documentation supporting your findings in your submission to HUD.

[Click here to enter text.](#)

Appendix I

Nationwide Rivers Inventory

National Park Service
U.S. Department of the Interior

This is a listing of more than 3,200 free-flowing river segments in the U.S....



Nationwide Rivers Inventory

National Park Service
U.S. Department of the Interior

This is a listing of more than 3,200 free-flowing river segments in the U.S....



Appendix J



Commonwealth of the Northern Mariana Islands
Division of Historic Preservation
Department of Community & Cultural Affairs

Airport Road
Caller Box 10007
Saipan, MP 96950



TEL: 664-2120-25

File No. 6.9.20.16
Serial No. 34295

February 19, 2021

Gabrielle Gersh, Transportation Engineer
U.S. Department of Transportation
Hawaii Federal-Aid Division
300 Ala Moana Blvd, Rom 3-306 Box 50206
Honolulu, Hawaii 96850

Subject: Route 33 (Beach Road) Improvements, Phases I, II, III and IV
Installation of Traffic signal System at Route 315 (Quarter Master Road)
Intersection, Project No. CM-NH-0033(023)
Section 106 Determination of Effect

Dear Ms. Gersh,

This is to concur with your finding of effect of "no adverse effects to historic properties" regarding the above mentioned project. Department of Public Works and HPO personnel conducted a survey of the project area around the Historic Landmark footprint and agree that historic properties can be found adjacent and not within the subject project's area of potential effect (APE).

This finding supersedes HPO's previous concurrence with Federal Highway Administration's previous determination of "adverse effect on the historic properties impacted by the subject project". With this concurrence, HPO understands that there will be full time monitoring by an archaeologist meeting the Department of Interior Secretary's Professional Standards.

Should there be inadvertent findings during construction, all earthmoving activities will stop and HPO will be notified.

If you should have any questions, please feel free to contact me at rchong.cnmihpo@gmail.com. We look forward to the commencement and successful completion of this project.

Best Regards,

Rita Chong-Dela Cruz

Cc: James Ada, CNMI DPW
Lorraine M. Seman, CNMI DPW
Joseph P. Deleon Guerrero, DCCA Secretary



Hawaii Federal-Aid Division

February 8, 2021

300 Ala Moana Blvd, Rm 3-306
Box 50206
Honolulu, Hawaii 96850
Phone: (808) 541-2700
Fax: (808) 541-2704

In Reply Refer To:
HDA-HI

Ms. Rita Chong - Dela Cruz
Historic Preservation Officer
P.O. BOX 500090
Airport Road
Saipan, MP 96950

Subject: Route 33 (Beach Road) Improvements, Phases I, II, III & IV
Installation of Traffic Signal System at Route 315 (Quarter Master Road)
Intersection, Project No. CM-NH-0033(023)
Section 106 Determination of Effect

Dear Ms. Chong - Dela Cruz:

Thank you for your letter dated July 17, 2019 in which you concurred with the Federal Highway Administration (FHWA)'s previous determination of "adverse effect on the historic properties impacted by the subject project." This letter is following up on our discussion on January 28, 2021 about the adverse effects determination for the subject project.

Upon further review of the project, we found that, while there are historic properties adjacent to the subject project's area of potential effect (APE), there are no historic properties within the APE. FHWA therefore determines that the project will cause no adverse effects to historic properties and requests your concurrence with this determination.

However, there is always a possibility of inadvertent findings during construction. If this occurs, all earthmoving activities will stop and your office consulted before continuing with the work. Construction monitoring procedures will be established in an Archaeological Monitoring and Data Recovery Plan and sent for your approval at a later date.

Please feel free to contact me at gabrielle.gersh@dot.gov if you have any questions. Thank you for your assistance.

Sincerely yours,

A handwritten signature in blue ink that reads "Gabrielle Gersh".

Digitally signed by
GABRIELLE M GERSH
Date: 2021.02.08
12:28:36 -10'00'

Gabrielle Gersh
Transportation Engineer

cc: James Ada, CNMI DPW
Lorraine M. Seman, CNMI DPW



U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
WASHINGTON, DC 20410-1000

This Worksheet was designed to be used by those “Partners” (including Public Housing Authorities, consultants, contractors, and nonprofits) who assist Responsible Entities and HUD in preparing environmental reviews, but legally cannot take full responsibilities for these reviews themselves. Responsible Entities and HUD should use the RE/HUD version of the Worksheet.

Historic Preservation (CEST and EA) – PARTNER

<https://www.hudexchange.info/environmental-review/historic-preservation>

Threshold

Is Section 106 review required for your project?

- ☐ No, because a Programmatic Agreement states that all activities included in this project are exempt. (See the [PA Database](#) to find applicable PAs.)

Either provide the PA itself or a link to it here. Mark the applicable exemptions or include the text here:

Click here to enter text.

→ Continue to the Worksheet Summary.

- ☒ No, because the project consists solely of activities included in a No Potential to Cause Effects memo or other determination [36 CFR 800.3(a)(1)].

Either provide the memo itself or a link to it here. Explain and justify the other determination here:

Letter from Historic Preservation Officer concurrence on “no adverse effects to historic properties” regarding the project

→ Continue to the Worksheet Summary.

- ☐ Yes, because the project includes activities with potential to cause effects (direct or indirect). → Continue to Step 1.

The Section 106 Process

After determining the need to do a Section 106 review, HUD or the RE will initiate consultation with regulatory and other interested parties, identify and evaluate historic properties, assess effects of the project on properties listed on or eligible for the National Register of Historic Places, and resolve any adverse effects through project design modifications or mitigation.

Step 1: Initiate consultation

Step 2: Identify and evaluate historic properties

Step 3: Assess effects of the project on historic properties

Step 4: Resolve any adverse effects

Only RE or HUD staff may initiate the Section 106 consultation process. Partner entities may gather information, including from SHPO records, identify and evaluate historic properties, and make initial assessments of effects of the project on properties listed in or eligible for the National Register of Historic

Place. Partners should then provide their RE or HUD with all of their analysis and documentation so that they may initiate consultation.

Step 1 - Initiate Consultation

The following parties are entitled to participate in Section 106 reviews: Advisory Council on Historic Preservation; State Historic Preservation Officers (SHPOs); federally recognized Indian tribes/Tribal Historic Preservation Officers (THPOs); Native Hawaiian Organizations (NHOs); local governments; and project grantees. The general public and individuals and organizations with a demonstrated interest in a project may participate as consulting parties at the discretion of the RE or HUD official. Participation varies with the nature and scope of a project. Refer to HUD's website for guidance on consultation, including the required timeframes for response. Consultation should begin early to enable full consideration of preservation options.

Use the [When To Consult With Tribes checklist](#) within [Notice CPD-12-006: Process for Tribal Consultation](#) to determine if the RE or HUD should invite tribes to consult on a particular project. Use the [Tribal Directory Assessment Tool \(TDAT\)](#) to identify tribes that may have an interest in the area where the project is located. Note that only HUD or the RE may initiate consultation with Tribes. Partner entities may prepare a draft letter for the RE or HUD to use to initiate consultation with tribes, but may not send the letter themselves.

List all organizations and individuals that you believe may have an interest in the project here:

[Click here to enter text.](#)

→ Continue to Step 2.

Step 2 - Identify and Evaluate Historic Properties

Provide a preliminary definition of the Area of Potential Effect (APE), either by entering the address(es) or providing a map depicting the APE. Attach an additional page if necessary.

[Click here to enter text.](#)

Gather information about known historic properties in the APE. Historic buildings, districts and archeological sites may have been identified in local, state, and national surveys and registers, local historic districts, municipal plans, town and county histories, and local history websites. If not already listed on the National Register of Historic Places, identified properties are then evaluated to see if they are eligible for the National Register. Refer to HUD's website for guidance on identifying and evaluating historic properties.

In the space below, list historic properties identified and evaluated in the APE.

Every historic property that may be affected by the project should be listed. For each historic property or district, include the National Register status, whether the SHPO has concurred with the finding, and whether information on the site is sensitive. Attach an additional page if necessary.

[Click here to enter text.](#)

Provide the documentation (survey forms, Register nominations, concurrence(s) and/or objection(s), notes, and photos) that justify your National Register Status determination.

Was a survey of historic buildings and/or archeological sites done as part of the project?

If the APE contains previously unsurveyed buildings or structures over 50 years old, or there is a likely presence of previously unsurveyed archeological sites, a survey may be necessary. For Archeological surveys, refer to HP Fact Sheet #6, [Guidance on Archeological Investigations in HUD Projects](#).

☐ Yes → *Provide survey(s) and report(s) and continue to Step 3.*

Additional notes:

[Click here to enter text.](#)

☒ No → *Continue to Step 3.*

Step 3 - Assess Effects of the Project on Historic Properties

Only properties that are listed on or eligible for the National Register of Historic Places receive further consideration under Section 106. Assess the effect(s) of the project by applying the Criteria of Adverse Effect. ([36 CFR 800.5](#)) Consider direct and indirect effects as applicable as per HUD guidance.

Choose one of the findings below to recommend to the RE or HUD.

Please note: this is a recommendation only. It is **not** the official finding, which will be made by the RE or HUD, but only your suggestion as a Partner entity.

☐ No Historic Properties Affected

Document reason for finding:

☐ No historic properties present.

☐ Historic properties present, but project will have no effect upon them.

☒ No Adverse Effect

Document reason for finding and provide any comments below.

Comments may include recommendations for mitigation, monitoring, a plan for unanticipated discoveries, etc.

See Letter Dated February 19, 2021

☐ Adverse Effect

Document reason for finding:

Copy and paste applicable Criteria into text box with summary and justification.

Criteria of Adverse Effect: [36 CFR 800.5](#)

[Click here to enter text.](#)

Provide any comments below:

Comments may include recommendations for avoidance, minimization, and/or mitigation.

[Click here to enter text.](#)

Remember to provide all documentation that justifies your National Register Status determination and recommendations along with this worksheet.

Appendix K

Public Comment Progress

Eight-Step Decision-Making

Project: Road Improvement Project on Route 33, Beach Road, Saipan

Program: Community Development Block Grant – Disaster Recovery (CDBG-DR)

-
1. Announcement of Notice:
 - a. Newspaper Ads Early Notice (May 12, 2021, 05/17/21, 05/24/21, & 05/27/21);
 - b. Newspaper Ads Final Notice (07/02/21 & 07/06/21)
 - c. Social Media (Northern Marianas Corporation Facebook page)-Early Notice and Final Notice;
 - d. Agency Website (www.nmhc.gov.net & www.cnmi-cdbgdr.com)- Early Notice and Final Notice
 2. May 27, 2021: End of public comment period for Early Notice
 - a. No public comment received on May 27, 2021, 4:00 p.m.
 3. July 12, 2021: : End of public comment period for Final Notice
 - a. No public comment received on May 12, 2021, 4:00 p.m.

Reported by Jacob Muna, Office Manager

It is the love of country that has lighted and that keeps glowing the hol fire of patriotism.

— J. Horace McFarland

HAPPY LIBERATION DAY

From the chair of the Senate, Governor
Jude Daniel Hirschfeld
wishes the people of the Northern Mariana Islands
a very happy and successful day.

May this day be
a symbol of prosperity,
joy, and happiness to all.

Happy Liberation Day!

From the management and



BOE authority to set PSS instructional time is clarified in new law

Gov. Ralph DLG. Torres has signed into law a Senate bill that clarifies that the State Board of Education has the authority to establish and amend the minimum instructional time for the Public School System.

Torres informed the Legislature that he has signed Senate Bill 22-21 into Public Law 22-02.

Senate President Jude U. Hirschfeld is the author of the legislation.

The new law repeals and reenacts a Commonwealth Code to clarify that the BOE has the authority to establish, maintain, amend or modify, as necessary, the instructional calendar or minimum instructional time for kindergarten, elementary school, middle school, and high school students at PSS in order to improve student overall performance and achievement.

With the signing of the bill

into law, BOE shall establish and maintain within each school year an instructional calendar of no less than 180 days of instruction for students from kindergarten through the 12th grade, exclusive of weekends, holidays, and emergency school closings authorized by the PSS commissioner, provided that the Board of Education, in consultation with the commissioner, may reduce the instructional calendar applicable to each school, in the event of an emergency declaration or natural disaster.

The Senate committee's report determined that, without an immediate amendment to rectify the provisions of Public Law 20-48, PSS will continue to face complications in resolving the educational needs of the students in line with the guidance and support of its federal partners. (Ferdie de la Torre)

PUBLIC NOTICE



This is to inform the public that Maryn P. Pascual is no longer connected with FM Corporation dba FM Manpower effective July 2nd, 2021.

Any transaction made or entered by her after the above-mentioned date will no longer be honored by the company.

For any questions or concerns, please call our office at Tel 234-4000.



COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS NORTHERN MARIANA HOUSING CORPORATION PUBLIC NOTICE

This Notice is paid by NMHC with HUD funds
07/02/2021

Final Notice and Public Explanation of a Proposed Activity in a 100-Year Flood Plain

This is to give notice that the Northern Mariana Housing Corporation (NMHC), as the Responsible Entity under Part 60, has concluded an evaluation as required by Executive Order 11988, in accordance with HUD regulations at 24 CFR 55.20 Subpart C, "Procedures for Making Determinations on Floodplain Management and Wetlands Protection," to determine the potential effect that its activity in the floodplain will have on the floodplain environment for the Flood Improvement Project on Route 23, Beach Road, Saipan. The activity is funded through the Community Development Block Grant - Disaster Recovery (CDBG-DR) program grant number 5-19-DV-89-0001 6-P-19-DV-89-0002.

The proposed activity consists of repaving and resurfacing of the existing road and repair of existing surface drainage infrastructure such as culvert and swales with scheduling time and migration of traffic. The improvement will ensure road safety and enhance floodplain development by ensuring no potential standing water is retained and that the rate of runoff discharge to immediate is maintained and improved. This activity is also National Flood Insurance Program (NFIP) compliant.

The public may view the information and provide comments regarding the proposed activity by visiting the NMHC website at www.nmhc.gov.net by clicking on the public notice/announcement tab and searching the Environmental Review Records or you may visit the NMHC CDBG-DR website at <http://www.cdbg-dr.com>.

The NMHC has presented the alternatives of the flood improvement project on Route 23, Beach Road, Saipan, and has determined that it has no practicable alternative. Consequently, the flood improvement project on Route 23, Beach Road, Saipan is approved. Copies of the CDBG-DR project or <http://www.nmhc.gov.net> or you may visit our office located in Garapan, Saipan.

The NMHC has published online the 6-step election making process for projects in the floodplain. The public may access and review the determination of no significant impact for the flood improvement project on Route 23, Beach Road, Saipan at <http://www.nmhc.gov.net> or <http://www.cdbg-dr.com> or you may visit our office located in Garapan, Saipan.

Written comments shall be submitted on or before July 12, 2021 no later than 4:00 p.m. Comments may be submitted from the following addresses: electronic mail at enviro@nmhc.gov.net or telephonically to (872)234-8021 or hand deliver to the NMHC Central Office located in Garapan, Saipan. Attention: CDBG-DR Project Team.

By: Ralph DLG. Torres, Governor, CNMI

**COMMONWEALTH OF THE NORTHERN MARIANAS ISLANDS
NORTHERN MARIANAS HOUSING CORPORATION**

PUBLIC NOTICE

This Notice is paid by NMHC with HUD funds

07/02/2021

Final Notice and Public Explanation of a Proposed Activity in a 100-Year Flood Plain

This is to give notice that the Northern Marianas Housing Corporation (NMHC), as the Responsible Entity under Part 58, has conducted an evaluation as required by Executive Order 11988, in accordance with HUD regulations at 24 CFR 55.20 Subpart C -Procedures for Making Determinations on Floodplain Management and Wetlands Protection, to determine the potential effect that its activity in the floodplain will have on the human environment for the Road Improvement Project on Route 33, Beach Road, Saipan. The activity is funded through the Community Development Block Grant –Disaster Recovery (CDBG-DR) program grant number B-19-DV-69-0001 & B-19-DV-69-0002.

The proposed activity consist of regrading and resurfacing of the existing road and repair of existing surface drainage appurtenances such as curb/gutter and swales will streamline flow and migration of runoff properly. The improvement will ensure road safety and enhance floodplain development by ensuring no potential standing water is retained and that the rate of runoff discharge to seawater is minimized and dispersed. This activity is also National Flood Insurance Program (NFIP) compliant.

The public may view the information and provide comments regarding the proposed activity by visiting the NMHC website at www.nmhc.gov.net by clicking on the public notice/announcement tab and selecting the Environmental Review Records or you may visit the NMHC CDBG-DR website at <https://www.cnmi-cdbgdr.com>.

The NMHC has reevaluated the alternatives of the road improvement project on Route 33, Beach Road Saipan, and has determined that it has no practicable alternative. Environmental files that document compliance with steps 3 through 6 of Executive Order 11988, are available for public inspection and review online at <https://www.cnmi-cdbgdr.com> or <https://www.nmhc.gov.net>. You may also visit our office located in Garapan, Saipan.

The NMHC has published online the 8-step decision making process for projects in the floodplain. The public may access and review the determination of no significant impact for the road improvement project on Route 33, Beach Road, Saipan at <https://www.cnmi-cdbgdr.com> or <https://www.nmhc.gov.net> or you may visit our office located in Garapan, Saipan.

Written comments shall be submitted on or before July 12, 2021, no later than 4:00 p.m. Comments may be submitted from the following submission methods: email at nmhc@nmhc.gov.mp; or facsimile to (670)234-9021; or hand deliver to the NMHC Central Office located in Garapan, Saipan. Attention: CDBG-DR Project Team.

/s/

Ralph DLG. Torres, Governor, CNMI

**COMMONWEALTH OF THE NORTHERN MARIANAS ISLANDS
NORTHERN MARIANAS HOUSING CORPORATION**

PUBLIC NOTICE

This Notice is paid by NMHC with HUD funds

07/02/2021

Final Notice and Public Explanation of a Proposed Activity in a 100-Year Flood Plain

This is to give notice that the Northern Marianas Housing Corporation (NMHC), as the Responsible Entity under Part 58, has conducted an evaluation as required by Executive Order 11988, in accordance with HUD regulations at 24 CFR 55.20 Subpart C -Procedures for Making Determinations on Floodplain Management and Wetlands Protection, to determine the potential effect that its activity in the floodplain will have on the human environment for the Road Improvement Project on Route 33, Beach Road, Saipan. The activity is funded through the Community Development Block Grant -Disaster Recovery (CDBG-DR) program grant number B-19-DV-69-0001 & B-19-DV-69-0002.

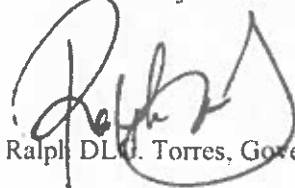
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Written comments shall be submitted on or before July 12, 2021, no later than 4:00 p.m. Comments may be submitted from the following submission methods: email at nmhc@nmhc.gov.mp; or facsimile to (670)234-9021; or hand deliver to the NMHC Central Office located in Garapan, Saipan. Attention: CDBG-DR Project Team.



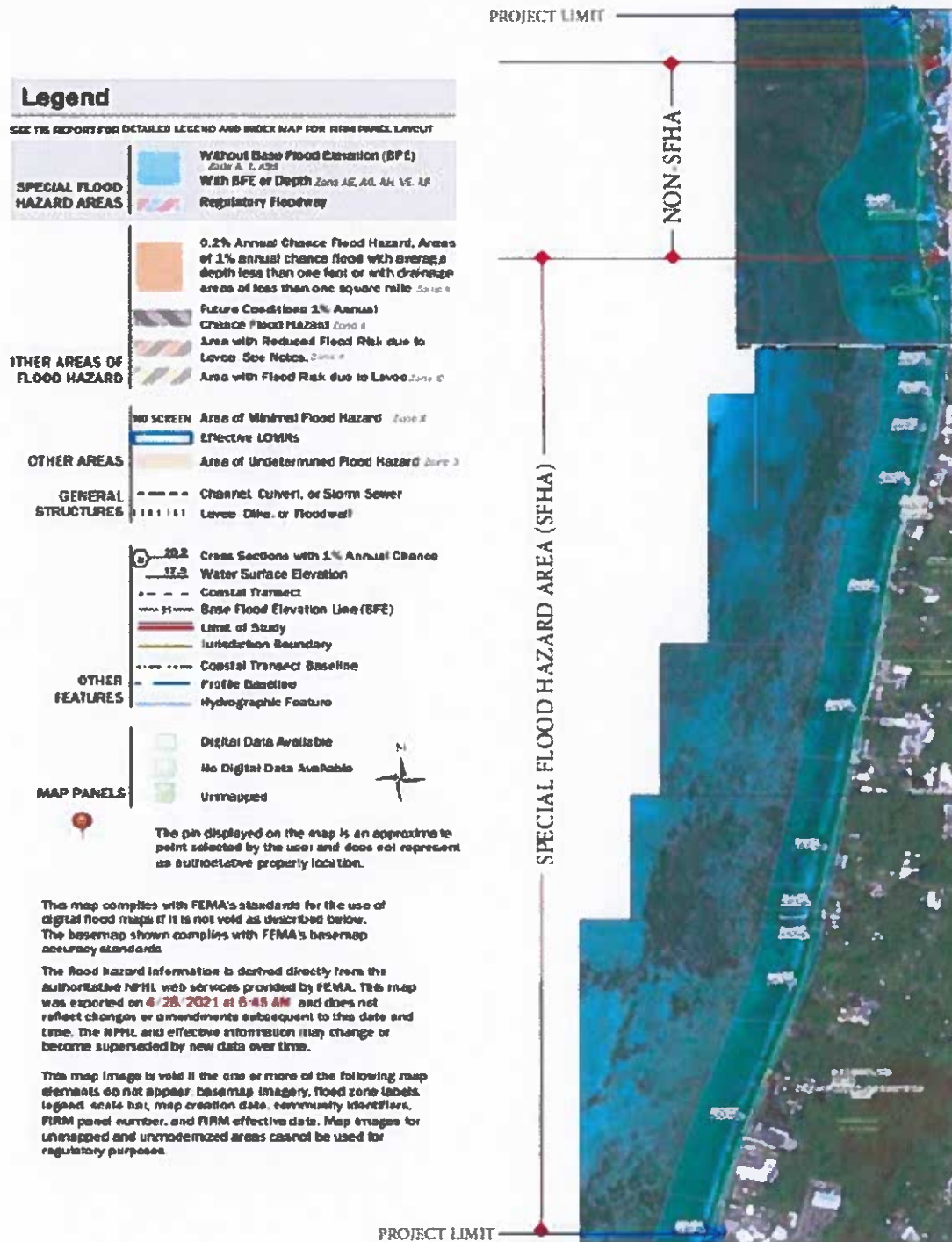
Ralph D. Torres, Governor, CNMI

NMHC/CDBG-DR 8-Step decision Making Process for Projects in the Floodplain

Project Name: Beach Road Improvement

1. Determine whether the action is located in a 100-year floodplain (or a 500-year floodplain for critical actions).

This is not a critical facility/structure. Section of the proposed project is in a 100-year flood zone (Special Flood Hazard Area – SFHA). The flood zone designation is VE (Coastal areas associated with storm waves) with a Base Flood Elevation (BFE) of 10 ft. See map below.



2. Notify the public for early review of the proposal and involve the affected and interested public in the decision-making process.

DPW has submitted its proposal to DCRM for review. As part of the review process, DCRM will notify the public and conduct a public hearing for all to voice their concern(s). Additionally, and in compliance with funding requirements, DPW/NMHC will avail the public for comments. As such, the public will have two opportunities to voice their concerns.

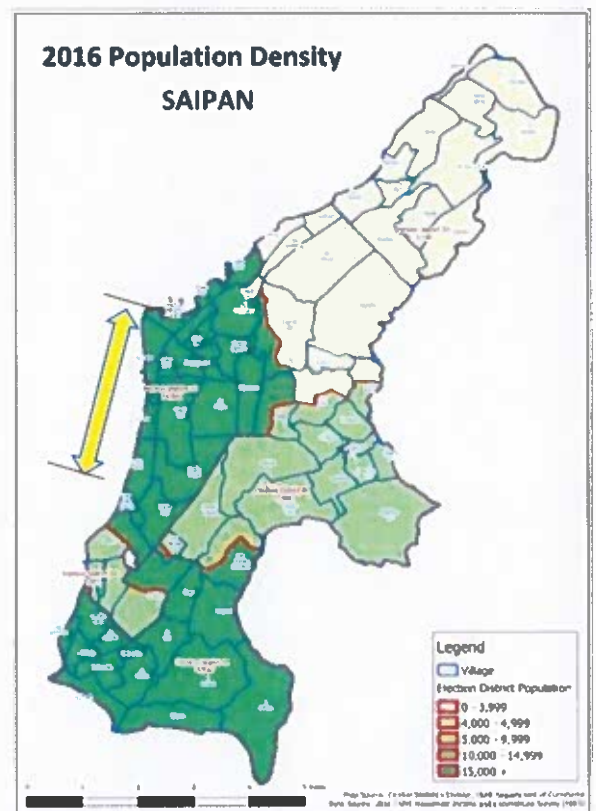
On May 12, 2021, the Northern Marianas Housing Corporation (NMHC) had published Early Notice and Public Review of a Proposed Activity in a 100-Year Floodplain through its website (www.nmhc.gov.net & www.cnmi-cdbqdr.com) and the local newspapers. On May 27, 2021, the comment period ended and had received no public comments regarding the proposed activity in the floodplain.

3. Identify and evaluate practicable alternatives. Identify the project site selection criteria and consider several alternative sites and actions:

Beach Road (Route 33) stretches along the coastal west side of the island of Saipan between the village of San Antonio and the commercial tourist district of Garapan. It serves some of the most densely populated areas in the island. Its service has spanned longer than any other major roadways in the island. Built by the Japanese and used during the final year of WWII by the US Military, it was a vital logistical infrastructure, connecting the Isley Military Airfield in the south and US Navy Tanapag Harbor in the north after the war. Over the years, Beach Road has become a vital thoroughfare connecting the island communities. Its crucial importance continues as it enhances social and economic growth of the community by providing stable regularities in social life and interactions in the areas of employment, access to goods and services, transport and access to the beach and other water related activities.

Relocating the road will have adverse and costly social and economic consequences. As seen on the map, hundreds of families will lose access and the ability to work, go to school, and avail social services. Utility and communication services to homes and businesses will deteriorate due to lack of access for repairs. Degeneration of emergency and public safety responses will continue. Businesses will cease due to substantial reduction and costly complications to transport and trade. One needs no cost-benefit analysis to see that relocating the road will result in an immediate and extreme social and economic consequence on the residents and businesses along this road. Because of the island's small size, the trickle-down effect and iterative proliferation nature of this hardship will be universal and immediate as well. Finally, road relocation will directly and indirectly force thousands of people and businesses to uproot from their lands and properties and relocate elsewhere. The mitigation cost will easily be in the hundreds of millions of dollars.

A. Locate the project within the floodplain



The project limit begins at Lat. 15.170823°N, long. 145.710655°E and ends at 15.214939°N, Long. 145.720624°. It is located on the island of Saipan. See map on the previous page.

B. Consider modifying the project

One practical option is to elevate the road with compacted fill. However, the National Flood Insurance Program prohibits any structural fill in VE and coastal A zones.

C. Obtain a Letter of Map Amendment (LOMA) or Letter of Map Revision (LOMR) – DPW will conduct an elevation survey and compare the data to the current base flood elevations. The results will determine whether or not a LOMA or LOMR is applicable.

4. Identify Potential Direct and Indirect Impacts of Associated with Floodplain Development.

All road construction involves earthmoving that may result in changes to elevation and landscape. This project ensures that no alterations will be done to reduce flood storage capacity that may create water displacement, resulting in flooding elsewhere. The project site however, is in a coastal VE zone and potential flooding would be from eastward storm-induced velocity wave action. Because this road is perpendicular to wave action (transverse encroachment), it does not pose significant impact to the floodplain. This road also acts as a barrier between homes and people on the east side. Adverse impacts on natural and beneficial floodplain values are minimal. In fact, it may be beneficial in that it diverts runoff to existing discharge outfalls, thus reducing uncontrolled contamination to the lagoon ecosystem and provides safe access to outdoor recreation. Finally, as this road is in a special flood hazard area, there is still that one percent change of inundation that will equal or greater than the 10-foot base flood elevation. Fortunately, the road has an average elevation of about 9 feet with a lowest and highest points at 6 and 12 feet respectively.

5. Where practicable, design or modify the proposed action to minimize the potential adverse impacts to lives, property, and natural values within the floodplain and to restore, and preserve the values of the floodplain.

Sixty percent of the proposed project is in flood zone VE. About thirty percent is in zone AE and the rest is non-SFHA. The National Flood Insurance Program (NFIP) provides no requirements on road construction; only on building structures and appurtenances. For example, 44 CFR 60.3(e)(4) provides for new construction and substantial improvements for building structures. Additionally, NFIP 60.3(e)(6) prohibits any structural fill in V zones. These requirements are more stringent than those in other flood zones. Furthermore, NFIP prohibits any structural fill in a VE or coastal A zones.

Like many roads with similar design composition, the level of drivability and road safety is dictated by road conditions. Current conditions of pocket-settlement and upheavals, rutting and cracking, potholes and patch failures have forced motorists to drive into bike/pedestrian lanes to avoid these hazards.

The project proposes to resurface the existing road to correct these issues. With this improvement, road hazards are greatly reduced. Road profile will also be improved, thus improving drainage while minimizing physical alterations within the floodplain.

6. Re-evaluate the Alternatives.

With no clear but restrictive NFIP requirements for road construction, the road can still be floodproofed as follows but will cost significantly more and with no comparatively real and substantial effects to preserve values of the floodplain, in fact it may have adverse impact:

Road Elevation: Elevating a 3-mile road, 2 feet above BFE will remove the one percent chance of flooding but would be non-compliant with the no-fill NFIP requirements. This elevated "barrier" will essentially prevent runoff to naturally drain to the ocean. This will trap water east side of the road where homes and businesses are located. It also means that all connecting roads will have to be re-profiled and drainage systems re-configured.

Wet Floodproofing: Constructing a sea side structural wall to reduce the impact of storm waves will satisfy NFIP requirements. However, permanent openings must be in place for people, vehicles and sea crafts to access the beach and water which defeats the purpose of wet-floodproofing. Wet floodproofing is impractical for this project.

As mentioned before, the National Flood Insurance Program prohibits any structural fill in a VE or coastal A zone. However, we must ensure that this project does not contribute adversely to future flooding. In fact, the resurfacing and repairs that this project proposes will, as aforementioned, enhance the natural values and contributes to the restoration and preservation of the floodplain.

7. Determination of No Practicable Alternative

Having considered possible alternatives described in item 6, the Department of Public Works has determined that the best option is the proposed scope of work which is to remove the existing asphalt surface, regrade the existing structural base and repave anew.

8. Implement the Proposed Action

The scope of work of the proposed action is to conform to the original proposal which is to regrade and resurface. Furthermore, repairs of existing surface drainage appurtenances such as curb/gutter and swales will streamline the flow and migration of runoff properly. These components, working in tandem, will improve road safety and enhance floodplain development by ensuring that no potential standing water is retained and that the rate of runoff discharge to seawater is minimized and dispersed. This proposed action is also NFIP compliant.

Business

United's mobile app wins 'People's Voice' award

CHICAGO—The recently redesigned United Airlines mobile app was voted the Best Travel App in the 25th annual Webby Awards. United's app was one of five nominees in the Travel App and Software category, and was named the "People's Voice" winner. United debuted its redesigned app in October of last year, featuring enhanced accessibility for visually impaired customers, more intuitive navigation and faster processing. United has continued to enhance the app to make it an all-in-one solution for customers to seamlessly navigate their travel experience. In January, United introduced the "Travel-Ready Center" to its mobile app, which allows customers to upload and validate test results, review local entry requirements, find and schedule appointments with testing providers, and more vaccination records.

"We're honored that our customers voted for United to win this award, and we plan to continue introducing new features and enhancements to ensure we are offering the most innovative and inclusive airline app in the industry," said Linda Joja, executive vice president for technology and chief digital officer, United. "Over the last year, it has been a top priority for us to make travel easier and more accessible for all, and United's mobile app gives customers everything they need for their travels right in the palm of their hand."

Already the top downloaded airline app for Apple and Android phones, with up to 2.5 million users interacting with the app daily, the United app was redesigned last year to help make travel easier for people with visual disabilities. Some of the enhanced features include increased color contrast, more space between graphics and reordering how information is displayed and announced to better integrate with the screen reader technologies built into most handheld devices like VoiceOver and TalkBack that read aloud on-screen messages and notifications. By restructuring the way the information is organized, screen readers are better able to convert text to audio in the proper, logical sequence, allowing customers to better understand and navigate the app.

In addition to the accessibility enhancements, United also introduced a refreshed account experience for MileagePlus® members to easily check balances, track Premier® progress, explore MileagePlus benefits, access past activity and more. The airline also updated its design and navigation to make the app more intuitive and help customers find everything they may need for their travels. All of these changes are underpinned by a new back-end platform, which ultimately makes the app faster and more responsive.

United has continued to add industry-leading features to its

app in the months since the redesign, including:

- **Travel-Ready Center:** A digital solution that allows customers to view COVID-19 entry requirements, find, schedule and receive uploaded test results from local providers and upload any required testing and vaccination records for domestic and international travel, all in one place. United is the first and only U.S. airline to integrate all these features into its mobile app and website.

- **Agent on Demand:** Customers at select airports can receive virtual, on-demand customer service, giving people an easy, contact-free option to get real-time information and support. Customers can access "Agent on Demand" on the United app to call, text or video chat live with an agent

and get answers on everything from seat assignments to boarding times.

- **United Map Search:** An interactive map feature powered by Google Flight Search Enterprise Technology, that lets customers easily compare and shop for flights, based on departure city, budget and location type, including popular national park, skiing and cultural destinations. This new digital tool available on the United app and website displays fares in a map view, allowing customers to simultaneously compare travel to a variety of destinations in a single search.

- **Contactless Payment:** On flights offering for-purchase food and beverage options, United customers can now use United's new contactless payment system that allows them to store their payment information in a digital wallet on the United app and on United.com prior to departure. Rather than handing the flight attendant a credit card, the flight attendant will ask for the customer's name and seat to confirm the card on file. (Once confirmed, customers will receive their products and the card on file will be charged accordingly.)

The Webby Awards is the leading international awards organization honoring excellence on the Internet, and United's app was the only major U.S. carrier app nominated for a Webby award this year. In 2019, United's mobile app was awarded a People's Voice Webby Award in the Business and Finance category.

Committed to ensuring a safer journey
United is committed to putting

health and safety at the forefront of every customer's journey, with the goal of delivering an industry-leading standard of cleanliness through its United CleanPlus™ program. United has teamed up with Clorox and Cleveland Clinic to redesign cleaning and health safety procedures from check-in to landing and has implemented more than a dozen new policies, protocols and innovations designed with the safety of customers and employees in mind.

About United
United's shared purpose is "Connecting People. Uniting the World." For more information, visit united.com, follow @United on Twitter and Instagram or connect on Facebook. The common stock of UAL is traded on the Nasdaq under the symbol "UAL." (PR)

Infrastructure deal slips, GOP pans \$1.7T White House offer

WASHINGTON (AP)—The prospects for an ambitious infrastructure deal have been thrown into serious doubt after the White House reduced President Joe Biden's sweeping proposal to \$1.7 trillion but Republican senators rejected the compromise as disappointing, saying "vast differences" remain.

While talks have not collapsed, the downbeat assessment is certain to mean new worries from Democrats that time is slipping to strike a deal. The president's team is

holding to a soft Memorial Day deadline to determine whether a compromise is within reach. Skepticism had been rising on all sides over the lack of significant movement off Biden's \$2.3 trillion plan or the GOP's proposed \$568 billion alternative.

"This proposal exhibits a willingness to come down in size," said White House press secretary Jen Psaki, disclosing the new offer Friday as talks were underway between key Cabinet secretaries and GOP senators at a crucial

stage toward a deal. But after the hourlong meeting, the Republicans quickly rejected the new approach as "well above the range" of a proposal that could win bipartisan support.

The two sides "seem further apart" than when negotiations began, according to a statement from an aide to Sen. Shelley Moore Capito, R-W. Va., the lead negotiator for the group of GOP senators.

The White House and the Republican senators have been in talks ever since Biden

met with a core group of Republican negotiators over the possibility of working together on an infrastructure plan. The White House dispatched the transportation and commerce secretaries and top aides to Capitol Hill to meet with the Republicans earlier this week, and they had a follow-up video call Friday.

According to a memo obtained by The Associated Press, the administration's new approach is cutting more than \$550 billion from the president's initial offer.

NORTHERN MARIANAS HOUSING CORPORATION (NMHC) JOB VACANCY ANNOUNCEMENT AMENDED

BMHC JOB NO.	Position	Salary
7221-422	1-Shift Engineer (m/f) (vacant)	\$17,820-\$21,200.00 per annum - Negotiable

Employment application form, detailed job description, qualification requirements and other information may be accessed at www.nmhc.gov

Applicants may submit their applications through the following options: Submission at the NMHC Central Office in Garapan, Saipan, or at the Drop Box located in front of the NMHC Central Office building; or email application and documents to office@nmhc.gov

All applicants must complete and submit the NMHC Employment Application Form together with required documents that are listed in the Employment Application Package. Failure to provide the required documents will result in automatic disqualification. NMHC and all its properties are drug-free zones; therefore, selected applicant will be subject to pre-employment drug screening.

It is the policy of the Northern Marianas Housing Corporation (NMHC) that the merit system will be applied and administered according to the principle of equal opportunity for all citizens and nationals as defined by its personnel regulations and the Northern Marianas Commonwealth Constitution regardless of age, race, sex, religion, political affiliation or belief, marital status, disability or place of origin.

For inquiries, please contact Mr. Jacob Muna, Office Manager, at (670) 234-6866/9447 or by email to office@nmhc.gov. NMHC is a fair housing agency and an equal opportunity provider, lender and employer.

By
JESSE S. PALACIOS
Corporate Director

NORTHERN MARIANAS HOUSING CORPORATION (NMHC) JOB VACANCY ANNOUNCEMENT

BMHC JOB NO.	Position	Salary
7221-422	Shift Secretary	\$21,800.00-\$24,800.00 per annum - Negotiable

Employment application form, detailed job description, qualification requirements and other information may be accessed at www.nmhc.gov

Applicants may submit their applications through the following options: Submission at the NMHC Central Office in Garapan, Saipan, or at the Drop Box located in front of the NMHC Central Office building; or email application and documents to office@nmhc.gov

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By
JESSE S. PALACIOS
Corporate Director

COMMONWEALTH OF THE NORTHERN MARIANAS ISLANDS NORTHERN MARIANAS HOUSING CORPORATION

PUBLIC NOTICE

This Notice is posted by NMHC with HUD funds
CS-12-0021

Early Notice and Public Review of a Proposed Activity in a 100-Year Floodplain

This is to give notice that the Northern Marianas Housing Corporation (NMHC), as the Responsible Entity under Part 56, has conducted an evaluation as required by Executive Order 11893, in accordance with HUD regulations at 24 CFR 55.20 Subpart C - Procedures for Making Determinations on Floodplain Management and Wetlands Protection, to determine the potential effect that its activity in the floodplain will have on the human environment for the flood improvement project on Route 31, Beach Road, Saipan. The activity is funded through the Community Development Block Grant - Disaster Recovery (CDBG-DR) program grant number 6-19-DH-66-0001 & 6-19-DH-66-0002.

The public may view the information and provide comments regarding the proposed activity by visiting the NMHC website at www.nmhc.gov by clicking on the public notice/announcement tab and selecting the Environmental Review Records or you may visit the NMHC CDBG-DR website at <https://www.nmhc.gov/cdbg-dr>.

Written comments shall be submitted on or before May 27, 2021, no later than 4:00 p.m. Comments may be submitted from the following submission methods: email at info@nmhc.gov, or by mail to (670) 234-6021; or hand deliver to the NMHC Central Office located in Garapan, Saipan. Attention: CDBG-DR Project Team.

By
Ruth D.L. Torres
Governor, NMHC

Revenue and Taxation planning for advanced payments of Expanded Child Tax Credit

(Office of the Governor) — The Department of Finance-Division of Revenue and Taxation would like to notify the general public that the implementation plan for the Expanded Child Tax Credit for 2021 pursuant to the American Rescue Plan is currently being developed for a target issuance by July 2021.

From July through December 2021, up to half the credit will be advanced to eligible families. DRT anticipates that the plan will allow estimated advance payments based on the 2020 return, or if not available, the 2019 return.

For that reason, the DRT urges families to file their 2020 return as soon as possible to avoid any delays. This includes many low- and moderate-income families who don't normally file returns. This year, the deadline is May 17, 2021 to file a return for those with a filing requirement.

DRT will launch an online portal for taxpayers to update information such as a change in the number of qualifying children, marital status, or significant change in income. Additionally, the portal will allow taxpayers to submit or update their banking information for direct deposit payments.

DRT will issue further guidance once the plan is finalized and approved.

Expanded Child Tax Credit for 2021 only
The new law increases the amount

of the Child Tax Credit, makes it available for 17-year-old dependents, makes it fully refundable and makes it possible for families to receive up to half of it, in advance, during the last half of 2021. Moreover, families can get the credit, even if they have little or no income from a job, business or other source.

Currently, the credit is worth up to \$2,000 per eligible child. The new law increases it to as much as \$3,000 per child for dependents ages 6 through 17, and \$3,600 for dependents ages 5 and under. The maximum credit is available to taxpayers with a modified adjusted gross income of:

- \$75,000 or less for singles,
- \$112,500 or less for heads of household and
- \$150,000 or less for married couples filing a joint return and qualified widows and widowers.

Above these income thresholds, the extra amount above the original \$2,000 credit — either \$1,000 or \$1,600 per child — is reduced by \$50 for every \$1,000 in modified adjusted gross income.

Also, the credit is fully refundable for 2021. Before this year, the refundable portion was limited to \$1,400 per child.

Please continue to follow updates from the Department of Finance and the Office of the Governor for the latest information.



Governor optimistic Guam will be 'back to normal' by summer

By Oynol Najralid

For Variety

HAGATÑA (The Guam Daily Post) — Gov. Lou Leon Guerrero is optimistic that not only will the island reach herd immunity by July 21, but that the island will be "back to normal" by this summer as well.

She said the people of Guam took actions to reduce incidences of new Covid-19 cases and hospitalizations, as well as meet the "Path to Half" vaccination goal — all of which help to ensure the island is safe as travel quarantine restrictions are lifted.

The next step is to reach herd immunity, and a life that more closely resembles pre-pandemic times.

"I'm hoping that by the end of this summer we will be back to normal. That's my goal," she said.

She said back to normal includes, "being able to hug your family and friends, and I would like it up we don't have to wear masks anymore. I would like to go to the beach and party with my friends without having to wear a mask or be sick."

with Covid-19. I would like it so we don't fear for the lives of our people when they're hospitalized, that to me is normal. I would love it when travelers come back without any restrictions."

But with that hope comes the caveat of continuing to wear masks, practice social distancing as much as possible and getting vaccinated to maintain low numbers.

"Throughout our Covid-19 response, our priority has been protecting our people and our fragile health care system," she said during a Friday press conference.

"Today, we have five Covid-19 patients receiving care at the Guam Memorial Hospital, one of whom is in the intensive care unit on a ventilator."

"Should the number of hospitalized increase, know that I am prepared to reimplement restrictions," she said, later noting that could include reducing numbers allowed for social gathering along with other measures that recently were eased.



Lou Leon Guerrero



COMMONWEALTH OF THE NORTHERN MARIANAS
NORTHERN MARIANAS HOUSING CORPORATION

P.O. Box 500514, Saipan, MP 96950-0514

Email: nmhc@nmhc.gov.mp

Website: http://www.nmhc.gov.asi



PUBLIC NOTICE

This Notice is paid by NMHC with HUD funds

05/12/2021

EARLY NOTICE AND PUBLIC REVIEW OF A PROPOSED ACTIVITY IN A 100-YEAR FLOODPLAIN

This is to give notice that the Northern Marianas Housing Corporation (NMHC), as the Responsible Entity under Part 58, has conducted an evaluation as required by Executive Order 11988, in accordance with HUD regulations at 24 CFR 55.20 Subpart C—Procedures for Making Determinations on Floodplain Management and Wetlands Protection, to determine the potential effect that its activity in the floodplain will have on the human environment for the Road Improvement Project on Route 33, Beach Road, Saipan. The activity is funded through the The Community Development Block Grant —Disaster Recovery (CDBG-DR) program grant number B-19-DV-69-0001 & B-19-DV-69-0002.

The public may view the information and provide comments regarding the proposed activity by visiting the NMHC website at www.nmhc.gov.net by clicking on the public notice/announcement tab and selecting the Environmental Review Records or you may visit the NMHC CDBG-DR website at <https://www.cnmi-cdbgdr.com>.

Written comments shall be submitted on or before May 27, 2021, no later than 4:00 p.m. Comments may be submitted from the following submission methods: email at nmhc@nmhc.gov.mp; or facsimile to (670) 234-9021; or hand deliver to the NMHC Central Office located in Garapan, Saipan. Attention: CDBG-DR Project Team.

/s/ Ralph DLG. Torres
Governor, CNMI



NORTHERN MARIANAS HOUSING CORPORATION

P.O. Box 500514, Saipan, MP 96950-0514

Email: nmhc@nmhc.gov.mp

Website: http://www.nmhc.gov.net



NUTISIAN PUPBLIKU

Sigun para i Seksiona 5 A. gi "Northern Marianas Housing Corporation" ("NMHC") i "Community Development Block Grant Disaster Recovery" ("CDBG-DR") na Programan "Action Plan" ("AP"), para u manafanungu i henerat pupbliku put est i manmaproponi na "substantial" yan "non-substantial" na amenda siha gi CDBG-DR AP yan para u manat i pupbliku tiempu para u fampattisipao yan i uputundat para u fampatipon gi est i manmaproponi na amenda siha. I henerat pupbliku debi na u ma'ntrega hulum i uputundat gi hulum trenta (30) dias ginen i fampattisipao yan est na Nutisia put est i Nutisia na manmaproponi siha gi CDBG-DR AP. I "substantial" na amenda siha manapristu yanggin guaha tiempu gi hulum i programan bonifisiku/criterio i kuilifikao, "addition/deletion" nu i akibidat, o sino "reallocation" i "substantial amount". I "substantial" na amenda slempri lokku i prumisiu yanggin kuatkuet na Nutisia siha gi programan umupus i singku milyon pesos (\$5,000,000). I "substantial" na amenda debi na u pribeni rasonapbli na uputundat (maseha 30 dias) para uputundat pupbliku. Todu i Nutisia siha debi na u madukumentu na Programan NMHC a CDBG-DR para u pribeni tod i dos nisisaku yan rasonapbli na "justification". Todu i "substantial" na amenda siha slempri ingkusu i mantinatitly:

1. I ekaekto na aldonifikasion nu manu na sinahuan man'ny, mafinas, pat matulalka;
2. Klau na diskripsion nu ginen manu/para manu i fundu; yan
3. I mas nuebu yan maribisa na "budget" dispues di i "re-allocation" nu i salapli.

Gi inatitab, i "non-substantial" na amenda siha para i "Action Plan" ti manmasuhetu para paitisipasion siudadanu lao i NMHC madisidi para u ingkusu i "non-substantial" na amenda para i manmensiann na Plann gi hulum est na Nutisia para infotmasion ha' na rason siha.

Yan mas, tod i "action plan" na amenda siha slempri managaha gi website i CNMI CDBG-DR gi www.cnmi-cdbg-dr.com yan siha machu i kopia gi ufianan i NMHC yan i CDBG-DR siha ni galgi iya Saipan. Tinian, yan Luta para otyi siha i ti siha ma'aksas i "Internet". I ninalutungu i pupbliku mampus impotanti sa' est na fundu dinipendi meggal gi paitisipasion pupbliku yan i totonan ni ti malakka nisisaku para u ma'ebalua. I NMHC slempri ma'usa i mantinatitly na "avenues/outlets" para u manafanungu i pupbliku put i Programan CDBG-DR:

- Nutisie gi hulum gaseta
- Anunelo Radio
- Social media
- CNMI CDBG-DR website

Ultimu, i NMHC slempri ha chul' rasonapbli na manera para u na siguru na i "very low-, low-, yan "moderate-income" na patsona siha, kumtodu i tantao ni gal disibidat, i gal inamku yan i tantao ni "Limited English Proficiency (LEP)" na managaha aksas para u mas makumprandi i programan yan parehu na uputundat para u fampattisipao gi hulum est impotanti na akibidat i CDBG-DR ni kumunofma yan i manmakatitaga na "policies" yan "procedures" ni galgi gi hulum i Programan CDBG-DR Citizen Participation Plan. I manmamsiann yan kumpidu na "Citizen Participation Plan" siha ma'aksas gi website i CNMI CDBG-DR gi www.cnmi-cdbg-dr.com o sino siha masodda gi Seksiona 5 gi CDBG-DR "Action Plan" (pahina 78 - 83). I kopian i "Action Plan", komu ma'amenda ginen est na Nutisia na prinipon siha, siha ma'aksas gi website i CNMI CDBG-DR gi www.cnmi-cdbg-dr.com o sino siha machu i kopia gi maseha manu na ufianan i NMHC iya Saipan, Tinian, yan Luta.

SBA approves 16K-plus restaurant assistance applications

Just one week after the U.S. Small Business Administration opened the application process for the Restaurant Revitalization Fund, it announced yesterday that more than 16,000 applicants have already been approved for assistance.

In a statement yesterday, SBA said this first round of funding represents over \$2 billion of relief awarded since Monday's program launch. Restaurants and other food and beverage businesses across the nation will begin to see funds in bank accounts as early as Tuesday, May 11.

"Just one week after launching the \$28.6 billion Restaurant Revitalization Fund, the SBA has begun to fund applications and that more than 16,000 restaurants and other food and beverage business owners will get much-needed relief in their hands," said SBA administrator Isabella Casillas Guzman. "We know that this help is urgently

needed by so many who have suffered disproportionately from this pandemic and have often been unable to access relief. Restaurants are the core of our neighborhoods and propel economic activity on Main Streets across the nation. The SBA is here to help them build resilience to survive this pandemic as we get our economy back on track."

The Restaurant Revitalization Fund was established by the American Rescue Plan that President Joe Biden recently signed into law. Under this new law, restaurants are eligible for funding equal to their pandemic-related revenue losses, capped at \$10 million per business and \$5 million per location.

SBA will continue to fund approved applications until all funds have been exhausted. Following the 21-day priority period, all eligible applications will be funded in the order in which they have

been received.

While the SBA will continue accepting applications from any eligible establish-

ment until funds are exhausted, the number of applications received so far could exhaust the funds authorized to fund

the Restaurant Revitalization Fund. Interested onsite food establishments may still apply through SBA-recognized

POS vendors or directly via the SBA online application portal: <https://restaurants.sba.gov>. (PR)

May 13 is World Falun Dafa Day

By JOSHUA SANTOS
joshua_santos@saipantribune.com
REPORTER

The Saipan Falun Dafa Association will be celebrating World Falun Dafa Day on May 13, with members spreading the group's tenets of "Truthfulness, Compassion, and Forbearance" by passing out informational pamphlets and giving small lotus flowers as gifts at the San Jose intersection in front of Atkins-Kroll Toyota Saipan from 9am to 11am on Thursday, and a motorcade parade from 3pm to 5pm later in the day.

The celebration on May 13 is one of many Falun Dafa events that are planned in May. Previous motorcade parades took place on May 1, 8, and 9 and future motorcade parades are planned for this Thursday and Friday.

A Saipan Falun Dafa Saipan spokesperson, who asked that she only be identified by her first name, Catherine, thanked the Department of Public Safety for its help in ensuring that Falun Dafa's motorcade parades go smoothly, and helping making sure that the parades were "peaceful and full of righteousness."

"The universal value of 'Truthfulness, Compassion and Forbearance' will increasingly be rooted in the hearts of the simple and kind-hearted residents of Saipan. ... Everyone is welcome to personally experience the physical and mental health and beauty that Falun Dafa brings to people through understanding the truth," said Catherine.

Falun Dafa, or Falun Gong, is a religious movement that was formed in the early 1990s



File photo shows the fleet of cars with Falun Dafa promotional material that the group will use during its May 13 motorcade parade. CONTRIBUTED PHOTO

by U.S.-based religious leader Li Hongzhi, and the group's global headquarters are located in Deepark, New York. Falun Dafa's teachings pull from Taoist and Buddhist traditions, and the group's members seek to achieve spiritual enlightenment through meditation and emphasizing morality and cultivating virtue.

The Chinese government cracked down on Falun Dafa

in 1999, stating that the group is a "heretical organization that threatens social stability." Since then, thousands of its practitioners have reportedly been persecuted and subjected to multiple human rights violations in China. Today, Falun Dafa has believers in 70 countries, and membership numbers supposedly range from 40,000 to hundreds of thousands.

Navy awards \$45M for health clinic

JOINT BASE PEARL HARBOR-HICKAM—Naval Facilities Engineering Systems Command Pacific awarded a \$45 million firm-fixed price contract May 10 to Core Tech-HDCO-Kajima, LLC, of Tammung, Guam, for the construction of a medical and dental clinic at Marine Corps Base Guam.

The contract supports the Defense Policy Review Initiative and is funded by the Japanese government as part of the international agreement between the United States

and Japan.

"This...facility...will be operational in time to support the force flow of Marines from Okinawa to Guam," said NAVFAC Pacific Guam program management office director Will Boudrea.

This new facility will include a Pharmacy, Physical Therapy, Radiology, Laboratory, Logistics, Optometry, Occupational Health and Dental Departments. Work will be performed in Guam with an expected completion date of May 2023. (PR)

PROCUREMENT SERVICES
CHMI GOVERNMENT
INVITATION TO BID
ITB NO.: ITB21-HSEM-091
SUBMISSION DATE: JUNE 02, 2021 TIME: 09:30 A.M.

"PURCHASE OF ONE (1) CLASS '1' 5-DOOR UTILITY VEHICLE FOR CHMI HOMELAND SECURITY & EMERGENCY MANAGEMENT"

COPIES OF THE SPECIFICATIONS MAY BE OBTAINED AT THE OFFICE OF THE DIRECTOR OF PROCUREMENT SERVICES, LOCATED AT THE FORMER EMERGENCY MANAGEMENT OFFICE, ASCENSION DRIVE, BUILDING NO. 1301, CAPITOL HILL, SAIPAN, DURING REGULAR WORKING HOURS.

*FOR YOUR SAFETY & OURS: ALL INTERESTED INDIVIDUALS ARE REQUIRED TO USE A FACE MASK & ARE REQUIRED TO REGISTER UPON ENTRY**

THE PROVISIONS OF THE CHMI PROCUREMENT REGULATIONS, NMIC SECTION 70-30.3-725 AND 70-30.3-730 PROHIBITING GRATUITIES, KICKBACKS AND CONTINGENT FEES SHALL APPLY.

THE CHMI GOVERNMENT RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS, OR PORTIONS THEREOF, AND WAIVE MATERIAL DEFECTS IF TO DO SO WOULD BE IN THE BEST INTEREST OF THE CHMI GOVERNMENT.

BY: ROBERT A. GUERIN
RAGS.COMMISSIONER

BY: FRANCISCA C. ARDUN
ACTING DIRECTOR, PS

A NORTHERN MARIANA ISLANDS SOCIAL SERVICE JOB VACANCY ANNOUNCEMENT

(1) EMERGENCY FOOD PROGRAM ADMINISTRATIVE ASSISTANT

For more information, job description and application can be obtained from Karikist main office at Sister Remedios Community Center, Chalan Kanoa.

DOCUMENTS REQUIRED: Complete application form, copy of diploma/degree, resume/bio-data, current police clearance within 6 months and a copy of valid CMH driver's license.

NO PHONE INQUIRIES PLEASE!!

CLOSING DATE: FRIDAY, MAY 21, 2021 AT 4:00 PM

PROCUREMENT SERVICES
CHMI GOVERNMENT
INVITATION TO BID
ITB NO.: ITB21-DOF-089
SUBMISSION DATE: JUNE 02, 2021 TIME: 09:30 A.M.

"TWO (2) SEPARATE OFFICE SPACE ONE SITUATED ON GROUND FLOOR FOR DEPARTMENT OF FINANCE"

COPIES OF THE SPECIFICATIONS MAY BE OBTAINED AT THE OFFICE OF THE DIRECTOR OF PROCUREMENT SERVICES, LOCATED AT THE FORMER EMERGENCY MANAGEMENT OFFICE, ASCENSION DRIVE, BUILDING NO. 1301, CAPITOL HILL, SAIPAN, DURING REGULAR WORKING HOURS.

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BY: DAVID D.V. FALIS
SECRETARY OF FINANCE

BY: FRANCISCA C. ARDUN
ACTING DIRECTOR, PS

PROCUREMENT SERVICES
CHMI GOVERNMENT
INVITATION TO BID
ITB NO.: ITB21-DPS-090
SUBMISSION DATE: JUNE 02, 2021 TIME: 10:00 A.M.

"PURCHASE OF TWO (2) CLASS 'F' PICK-UP TRUCK (1 CIF ROTA) (1 CIF TINIAN) & PURCHASE OF ONE (1) CLASS '1' SPORT UTILITY VEHICLE FOR DEPARTMENT OF PUBLIC SAFETY"

COPIES OF THE SPECIFICATIONS MAY BE OBTAINED AT THE OFFICE OF THE DIRECTOR OF PROCUREMENT SERVICES, LOCATED AT THE FORMER EMERGENCY MANAGEMENT OFFICE, ASCENSION DRIVE, BUILDING NO. 1301, CAPITOL HILL, SAIPAN, DURING REGULAR WORKING HOURS.

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BY: ROBERT A. GUERIN
RAGS.COMMISSIONER

BY: FRANCISCA C. ARDUN
ACTING DIRECTOR, PS

COMMONWEALTH OF THE NORTHERN MARIANAS ISLANDS
NORTHERN MARIANAS HOUSING CORPORATION

PUBLIC NOTICE
This Notice is issued by NMHC with HUD funds 05/12/2021

Early Notice and Public Review of a Proposed Activity in a 100-Year Floodplain

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BY: Ralph OLG. Torres
Governor, CDM

Red flag at 1 Saipan site

(BECQ) — The Bureau of Environmental and Coastal Quality analyzes water samples collected from Saipan's west coast recreational beaches and storm drainages and the Grotto every week.

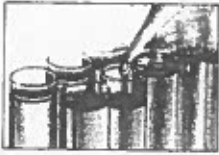
Samples collected from the following location contained excessive concentrations of fecal indicator bacteria or enterococci:

that exceeded CNMI marine water quality standards. These bacteria can indicate the presence of human and animal waste in the water.

However, studies have shown that storm water runoff in tropical environments may also contain these bacteria from the natural environment, which may not be directly associated with public health concerns.

Still, to adequately address public health concerns, BECQ has given the following location a red flag and advises the public not to fish or swim within 300 feet of the locations for the next 48 hours or until otherwise notified:

- Garapan beach



IT&E offers \$50 off internet plans for households impacted by pandemic

(Special Advertising Feature) — A monthly discount for Internet and Data-only plans is now available at IT&E to assist those who have been negatively impacted financially due to the pandemic.

The discount is offered through the Emergency Broadband Benefit or EBB Program launched by the Federal Communications Commission to provide eligible households and individuals with a \$50 credit per month for broadband and a one-time credit of \$100 to purchase one tablet.

The \$50 credit can be used for IT&E's 50Mbps and 25Mbps 2- or 3-Service Internet Bundles, as well

as for the 50GB Data-only Plan. The following households or individuals qualify:

- Current Lifeline Program subscribers

- Recipients of benefits under the free and reduced-price school lunch program or the school breakfast program

- Experienced a substantial loss of income since

February 29, 2020, that is documented by layoff or furlough notice, application for unemployment insurance benefits, or similar documentation, and the household had a total income below \$99,000 for single filers and \$198,000 for joint filers in 2020.

- Households or individuals that meet Lifeline-qualifying program eligibility; meet household income requirements, or is a participant of the Supplemental Nutrition Assistance Program, Supplemental Security Income, Medicaid, Federal Public Housing Assistance, or Veterans Pension or Survivor Benefit Programs.

"The pandemic has and will continue to have long-lasting impacts in our community. The EBB Program provides relief to those that need access to vital online services, such as education and work, so they can dedicate their financial resources to other necessities. We encourage all who are eligible to

■ CONTINUED ON PAGE 7

Emergency water service interruption

(Commonwealth Utilities Corp.)

— There will be an emergency water service interruption on Wednesday, May 12, 2021, from 8:30 a.m. to 4 p.m., for customers in San Roque, Achugao and Tanapag.

The emergency water interruption is due to the isolation of two 2 1/2-inch service line leaks located on Chalan Pale Arnold fronting the former Joy Hotel and Bwalang Avenue in Tanapag for water opera-

tors to perform leak repairs. Repairs on the water lines are anticipated to be completed tomorrow at 4 p.m. Water service scheduled hours to the affected areas will resume from 4 p.m. to 6 p.m.

For the safety of the men and women at the jobsite, please proceed with caution and/or take alternative routes

during the waterline repairs.

CUC continues to work diligently to minimize any inconvenience to its customers. For more information, contact the CUC Hotline (236-4333) or monitor its Facebook page (<https://www.facebook.com/CommonwealthUtilitiesCorporation/>).



Commonwealth Utilities Corporation.

COMMONWEALTH OF THE NORTHERN MARIANAS
OFFICE OF THE GOVERNOR
BUREAU OF ENVIRONMENTAL AND COASTAL QUALITY
 Division of Coastal Resources Management
 P.O. Box 500514, Saipan, MP 96950-0514
 Tel: (670) 664-1232 Fax: (670) 664-8215
 www.becq.gov.mp

NOTICE TO ALL MARINE SPORTS OPERATORS ON SAIPAN, TINIAN & ROTA

The Division of Coastal Resources Management (DCRM) recognizes the economic hardship that CNMI marine sports operators have experienced, and continue to experience, during the COVID-19 pandemic.

NMIA § 15-10-205(h)(4) requires all commercial marine sports permits to expire on May 30th each year. To assist the marine sports community during these challenging times, the renewal fee for commercial marine sports operators whose permit(s) were renewed last year and are set to expire on May 30, 2021, shall be waived. To avail of a permit fee waiver, all currently permitted marine sports operators on Saipan, Tinian, and Rota must submit a complete application package to DCRM on or before May 30, 2021.

Marine sports operations that did not renew their permit last year are not eligible for a fee waiver. For more information, contact DCRM at 664-8300.

/s/ JANICE E. CASTRO
 Director, DCRM

REQUEST FOR PROPOSALS
MVA-RFP-21-2026

For: Marianas Visitors Authority
 Local Public Relations and Media Services

Submission/Closing Date: June 11, 2021 Time: 3:00 p.m.

Submit sealed proposals to:
 Marianas Visitors Authority
 Attn: Procurement Office
 San Jose Professional Building
 Beach Rd., San Jose
 P.O. Box 500661
 Saipan, MP 96950

Interested parties may pick up the Scope of Work on or after May 07, 2021 at the Marianas Visitors Authority Office, San Jose Professional Building, Beach Road, San Jose, Saipan, from 8:00 a.m. to 5:00 p.m., Monday through Friday, except holidays.

Proposals submitted from individuals outside the Commonwealth of Northern Mariana Islands (CNMI) must be postmarked by the U.S. Postal Service or certified Courier mail service on or before June 11, 2021 and must be received within seven (7) working days of that date. Proposals from outside the CNMI must notify the MVA Procurement Officer Ms. Lenette Marasita in writing of their intent to submit in order to receive the additional seven (7) days for the receipt of the actual Proposal Documents. This notice of intent may be submitted by any mode of written communication including facsimile to +1-670-664-1237 or emailed to lmarasita@mvaa.com and must be received no later than 3:00 p.m., Chamorro Standard Time on June 11, 2021.

/s/ Elisabeth Viola Alepoyo
 Chairperson, MVA Board of Directors

/s/ Priscilla M. Iatopo
 Managing Director, MVA

COMMONWEALTH OF THE NORTHERN MARIANAS
NORTHERN MARIANAS HOUSING CORPORATION
 P.O. Box 500514, Saipan, MP 96950-0514
 Email: nmhc@nmhc.gov.mp
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/s/ Ralph DLG. Torres
 Governor, CNMI

Marianas Variety News & Views is circulated by home and office delivery throughout Saipan, Tinian, Guam and Pohnpei as well as mail delivery to the Federated States of Micronesia, the Marshall Islands, South Pacific, Hawaii, Japan and the U.S. Daily coverage also can be read from our website www.marianasvariety.com.

**COMMONWEALTH OF THE NORTHERN MARIANAS ISLANDS
NORTHERN MARIANAS HOUSING CORPORATION**

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/s/

Ralph DLG. Torres
Governor, CNMI

RALPH DLG. TORRES
Governor



ARNOLD I. PALACIOS
Lieutenant Governor

COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS
OFFICE OF THE GOVERNOR

COMMONWEALTH OF THE NORTHERN MARIANAS ISLANDS
NORTHERN MARIANAS HOUSING CORPORATION

PUBLIC NOTICE

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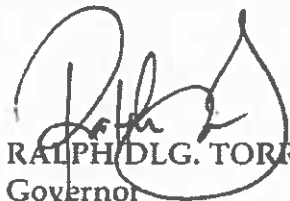
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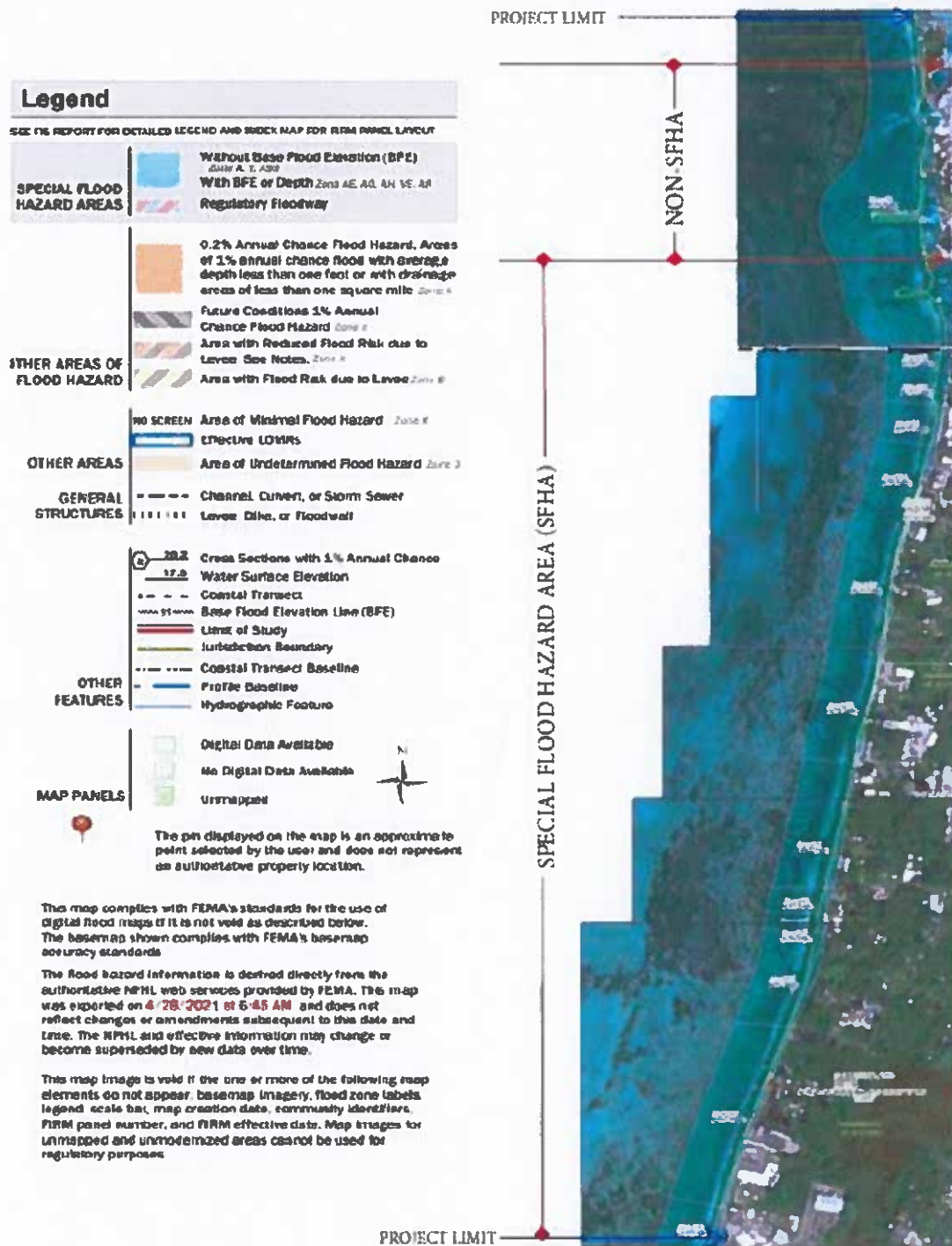

RALPH DLG. TORRES
Governor

NMHC/CDBG-DR 8-Step decision Making Process for Projects in the Floodplain

Project Name: Beach Road Improvement

1. Determine whether the action is located in a 100-year floodplain (or a 500-year floodplain for critical actions).

This is not a critical facility/structure. Section of the proposed project is in a 100-year flood zone (Special Flood Hazard Area – SFHA). The flood zone designation is VE (Coastal areas associated with storm waves) with a Base Flood Elevation (BFE) of 10 ft. See map below.



2. Notify the public for early review of the proposal and involve the affected and interested public in the decision-making process.

DPW has submitted its proposal to DCRM for review. As part of the review process, DCRM will notify the public and conduct a public hearing for all to voice their concern(s). Additionally, and in compliance with funding requirements, DPW/NMHC will avail the public for comments. As such, the public will have two opportunities to voice their concerns.

3. Identify and evaluate practicable alternatives. Identify the project site selection criteria and consider several alternative sites and actions:

This is an improvement to an existing road and there are no National Flood Insurance Program (NFIP), Federal or local floodproofing requirements necessary. However, one alternative is to elevate the road above the base flood elevation and request for FEMA Letter of Map Revision, based on Fill (LOMR-F). A second alternative is to employ wet flood proofing by constructing a raised wall on the west side of the road. This will minimize sea water flooding unto the road but rain runoff may be restricted and accumulation compounded.

Some of the site selection criteria that we considered are location, topography, existing road configuration, cost and practicability. With a small size island like Saipan, there are no other site alternative that can replace the services this road provides. To the west is an ocean and immediately to the east are homes and business. As a result, we decided that there are no alternative sites that can provide accessibility and functions that the proposed road would.

A. Locate the project within the floodplain

The project limit begins at Lat. 15.170823°N, long. 145.710655°E and ends at 15.214939°N, Long. 145.720624°. It is located on the island of Saipan. See map on the previous page.

B. Consider modifying the project

The project proposes to resurface the existing road to correct pockets of settlements and replace the delapidated and deteriorating asphalt surface. By improving the road, road hazards are greatly reduced. The alternatives aforementioned are impractical for the following reasons:

1. Elevating the road above the base flood elevation requires tremendous amount of fill and time, considering the amount of work required to fill and compact each lift.
2. Wet floodproofing by constructing a wall to minimize sea water flooding will not prevent rain runoff from flooding the road.

As mentioned before, the National Flood Insurance Program does not have flood zone requirements for roads. However, we must ensure that this project does not adverse effects on future flooding. This is not the case.

C. Obtain a Letter of Map Amendment (LOMA) or Letter of Map Revision (LOMR) – LOMA and LOMR necessary when removing the area from SFHA and are used primarily for buildings and other structures, never roads.

4. Identify Potential Direct and Indirect Impacts of Associated with Floodplain Development.

Ninety percent of the proposed project is in flood zone VE. About three percent is in zone AE and the rest is not in a flood zone. Although there are no clear requirements of road construction in a SFHA,

VE zones are subject to a greater hazard than those in other zones. In addition, Beach road defines the boundary of the VE flood zones. In other words, the east side of the road is outside the flood zone and only the road and a narrow (30 to 50 feet) shoreline is within. By constructing a raised concrete wall or elevating the road may have minimal effects on flooding and development but it may have considerable effects on the environment. A raised wall may constrain and create unintended runoff diversion. An elevated and exposed road is much more susceptible to erosion which can have significant and adverse effect on the lagoon ecology.

5. Where practicable, design or modify the proposed action to minimize the potential adverse impacts to lives, property, and natural values within the floodplain and to restore, and preserve the values of the floodplain.

The existing road is old (35+ years) and its intended drainage function is significantly reduced. The proposed road is essentially a re-surfacing project which will enhance the community in its everyday activities. Placement of new and smooth surface benefits motorists and residents. It reduces the risk of accidents. New surface will complement the existing drainage by ensuring the runoff are diverted to an intended point and discharged. The current condition of the road fails to do these.

6. Re-evaluate the Alternatives.

To be completed after public comments

7. Determination of No Practicable Alternative

To be completed after public comments

8. Implement the Proposed Action

To be completed after public comments

Appendix L

**BEACH ROAD REPAIR, OVERLAY AND MARKINGS
FROM MONSIGNOR GUERRERO ROAD
INTERSECTION TO MICRO BEACH ROAD
STATION 185+50 TO STATION 348+60
(CDBG-DR)**

**RALPH DLG. TORRES
GOVERNOR
COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS**

PREPARED BY:

**DEPARTMENT OF PUBLIC WORKS
TECHNICAL SERVICES DIVISION**

AUGUST 2021

RECOMMENDED BY:

APPROVED BY:

**ANTHONY A. CAMACHO
Director, Technical Services Division**

**JAMES A. ADA
Secretary of Public Works**

**COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS
DEPARTMENT OF PUBLIC WORKS
TECHNICAL SERVICES DIVISION**

SPECIAL PROVISIONS

FOR THE

**BEACH ROAD REPAIR FROM MONSIGNOR GUERRERO ROAD
INTERSECTION TO MICRO BEACH ROAD
STATION 185+50 TO 348+60
(CDBG-DISASTER RELIEF)**

**STANDARD SPECIFICATIONS FOR CONSTRUCTION OF ROADS AND BRIDGES ON
FEDERAL HIGHWAY PROJECTS, FP-03, IS INCORPORATED BY REFERENCE
WITHIN THIS CONTRACT. IN ANY AREA WHERE THIS SPECIAL PROVISION
DOCUMENT IS SILENT, FP-03 SHALL GOVERN. FP-03 IS MADE PART OF THE
TERMS AND CONDITIONS OF THIS CONTRACT AND IS SUBJECT TO
SUPPLEMENTS AND MODIFICATIONS MADE UNDER THE SPECIAL PROVISIONS**

AUGUST 2021

PROJECT DESCRIPTION:

**THE PROJECT BEGINS AT STATION 185+50, 150 FEET FROM THE INTERSECTION OF ROUTE 31
(CHALAN MONSIGNOR GUERRERO) AND ENDED INTERSECTION OF ROUTE 38 (NAVY HILL
ROAD)/MICRO BEACH ROAD, STATION 348+60. THE ROADWAY LENGTH APPROXIMATELY 3.09
MILES. THE PROPOSED REPAIR SHALL INVOLVES REMOVAL OF DAMAGE EXISTING PAVEMENT,
PAVING, FILLING, OVERLAY 1" THICK DENSE-GRADED ANTI-SKID, DRAINAGE AND INSTALLATION OF
PAVEMENT MARKINGS.**

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647.02	Field Methods	1 OF 5
647.03	Payment	5 OF 5

DIVISION 700

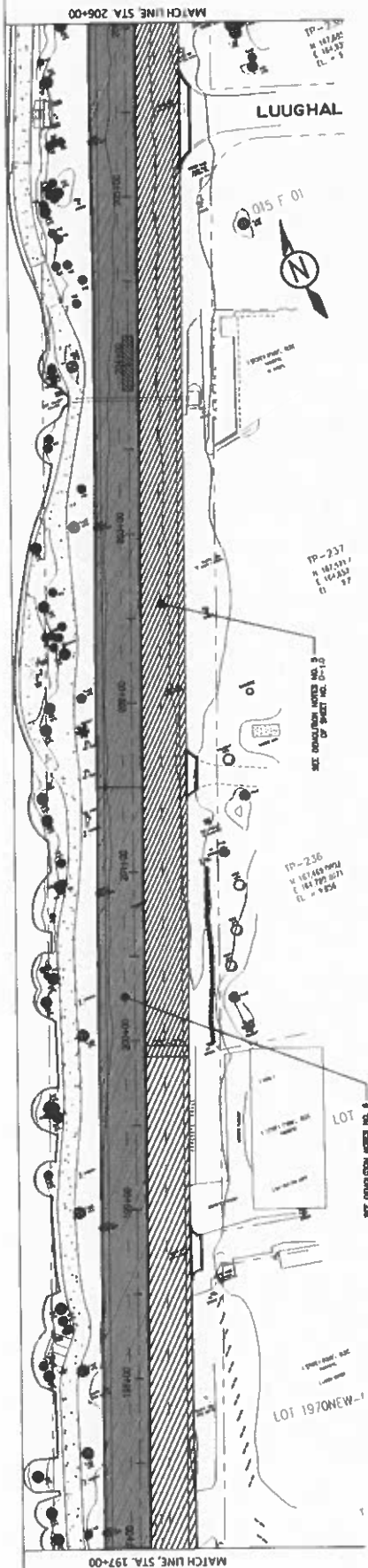
MATERIALS

Section 701	Cement	1 PAGE
701.01	Hydraulic Cement	1 OF 1
701.02	Masonry and Mortar Cement	1 OF 1
Section 702	Asphalt Material	1 PAGE
702.01	Asphalt Binder	---
702.02	Cut-Back Asphalt	---
702.03	Emulsified Asphalt	---
702.04	Application Temperatures	---
702.05	Material for Dumpproofing and Waterproofing Concrete & Masonry	1 OF 1
702.06	Recycling Agent	1 OF 1
702.07	Asphaltic Mastic	1 OF 1
702.08	Antistrip Additive	1 OF 1
702.09	Evaluation Procedure for Asphalt	---
702.10	Cold Asphalt Mix	1 OF 1
Section 703	Aggregate	3 PAGE
703.01	Fine Aggregate for Portland Cement Concrete	1 OF 3
703.02	Coarse Aggregate for Portland Cement Concrete	1 OF 3
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703.05	Subbase, Base and Surface Course Aggregate	1 OF 3
703.06	Crushed Aggregate	---
703.07	Hot Asphalt Concrete Pavement Aggregate	2 OF 3
703.08	Open Graded Asphalt Friction Course Aggregate	---
703.09	Tables 703-5 and 703-6 Reserved	Not Used
703.10	Asphalt Surface Treatment Aggregate	3 OF 3
703.11	Slurry Seal & Micro-surfacing Aggregate	3 OF 3
703.12	Choker Aggregate	3 OF 3
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703.15	Sand	3 OF 3
703.16	Aggregate for Lean Concrete Backfill	3 OF 3
703.17	Superpave Asphalt Concrete Pavement Aggregate	3 OF 3
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Section 709	Reinforcing Steel and Wire Rope	1 PAGE
709.01	Reinforcing Steel	1 OF 1
709.02	Wire Rope and Wire Cable	1 OF 1
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Section 710	Fence and Guardrail	NOT USED
Section 711	Concrete Curing Material and Admixtures	1 PAGE
711.01	Curing Material	---
711.02	Air-Entraining Admixtures	---
711.03	Chemical Admixtures	---
711.04	Latex Modifier	1 OF 1

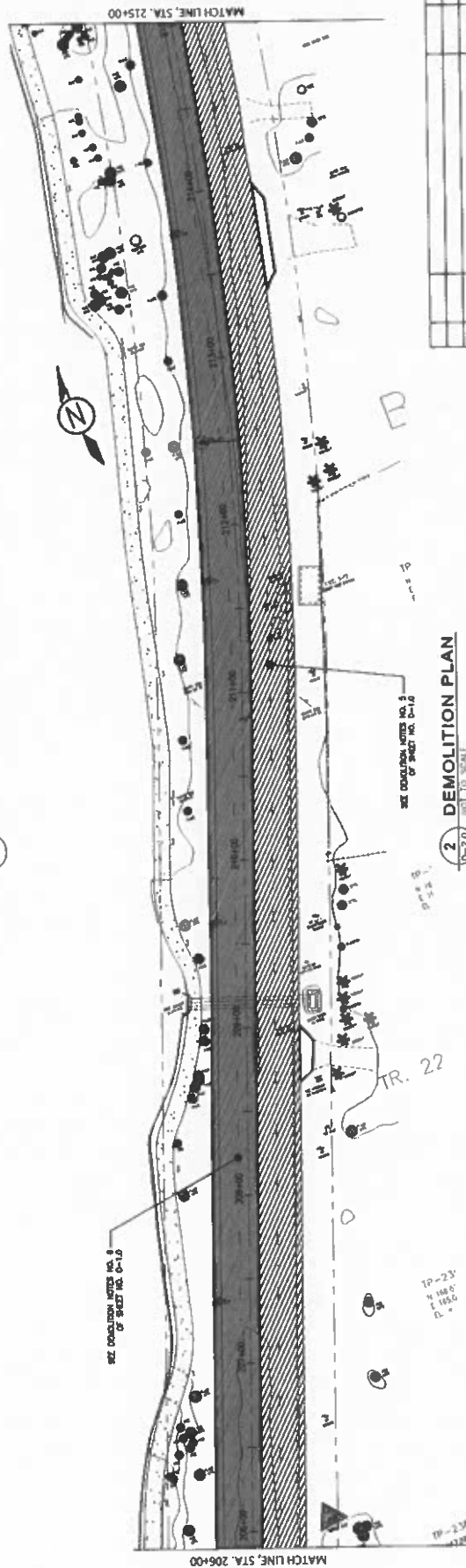
1. ANTI-SKID OVERLAY SHALL BEGIN FROM STA. 185+50 AND END AT STA. 348+78.53, AND BOTH SIDE OF ROADWAY EXTENDS 81' 4"
2. EXISTING ASPHALT PAVEMENT SHALL BE INSPECTED AND REPAIR PATCH EXISTING PAVEMENT PRIOR TO ANTI-SKID OVERLAY.
3. CONTRACTOR SHALL FOLLOW EXISTING ROAD ELEVATION AND APPLY A LEVENDING COURSE TO LEVEL SURFACE PRIOR TO ANTI-SKID OVERLAY.
4. MILLING OR TOUCHEN THE SURFACE OF THE EXISTING ASPHALT PAVEMENT (NOT TO BE REMOVED OR REPLACED) PRIOR TO ANTI-SKID OVERLAY.

[illegible]

[illegible]

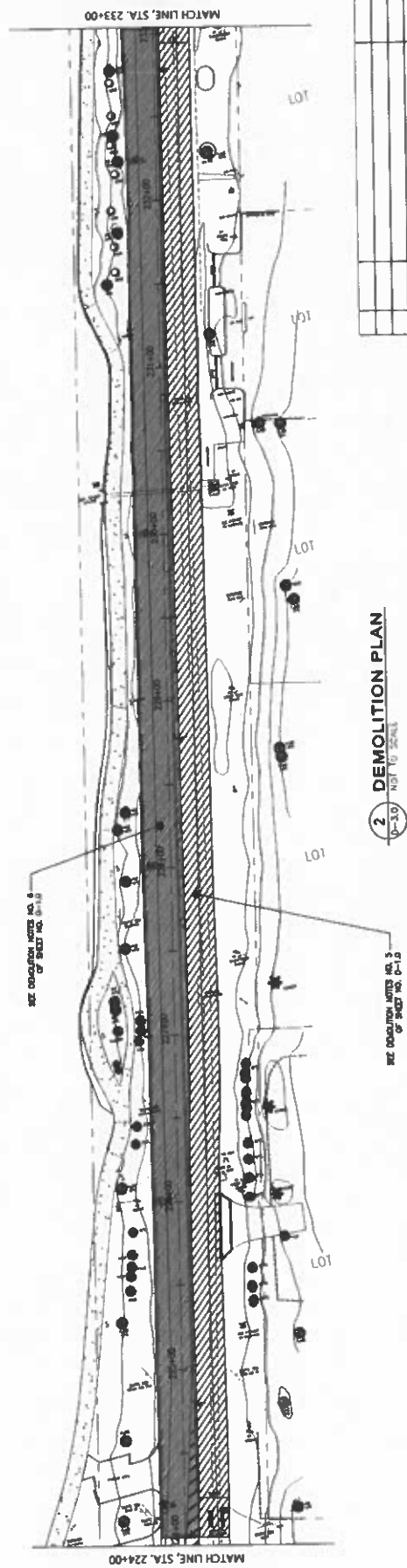
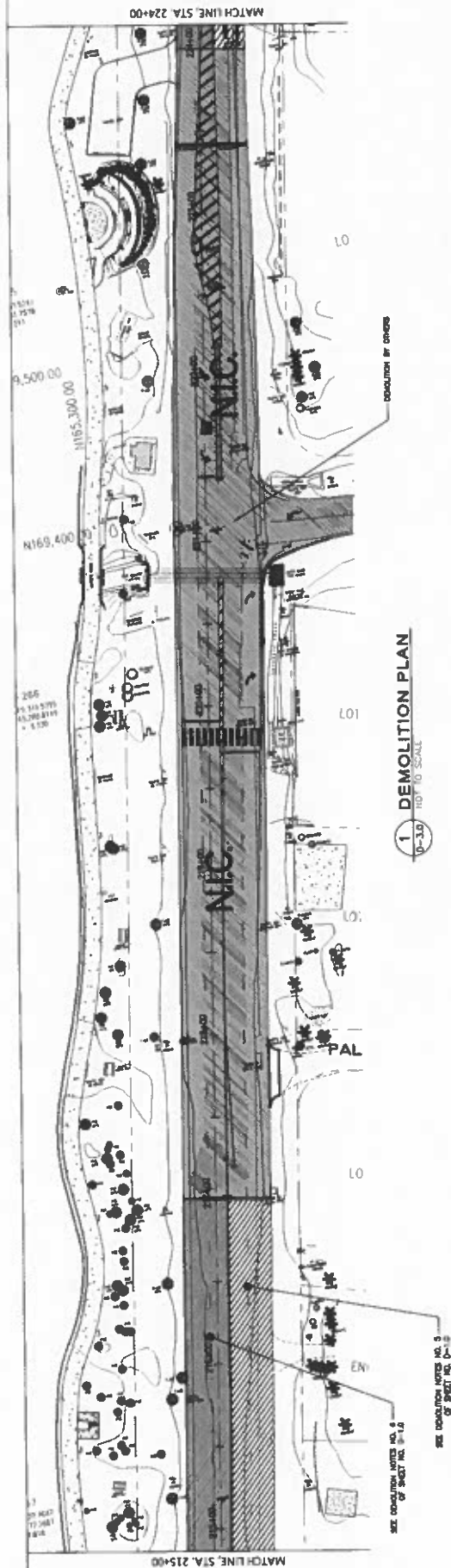


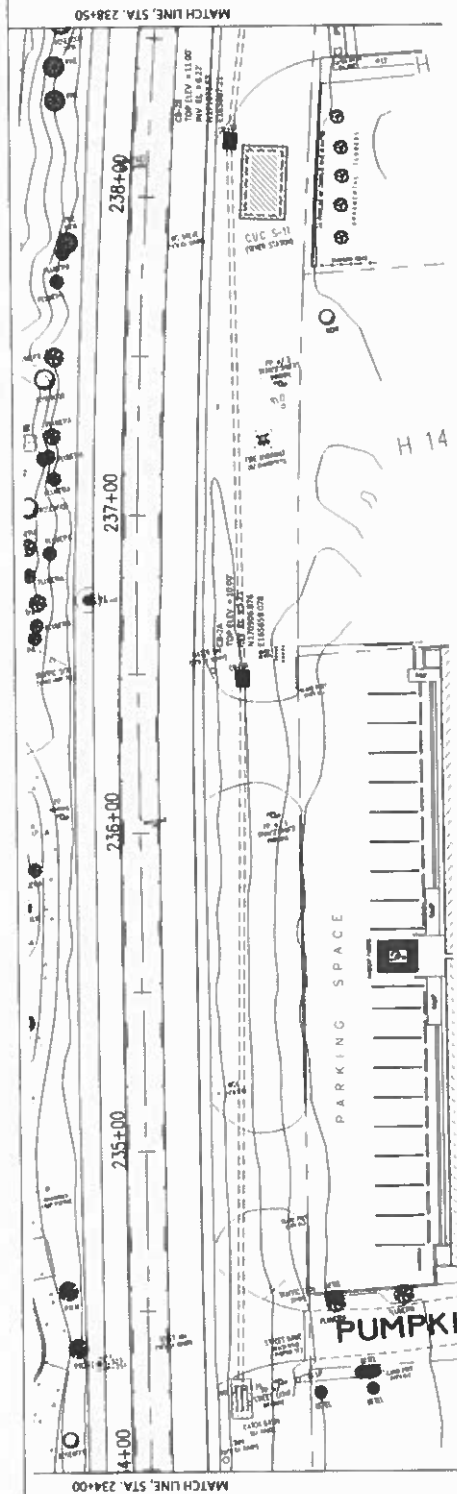
1 DEMOLITION PLAN
D-2.0 NOT TO SCALE



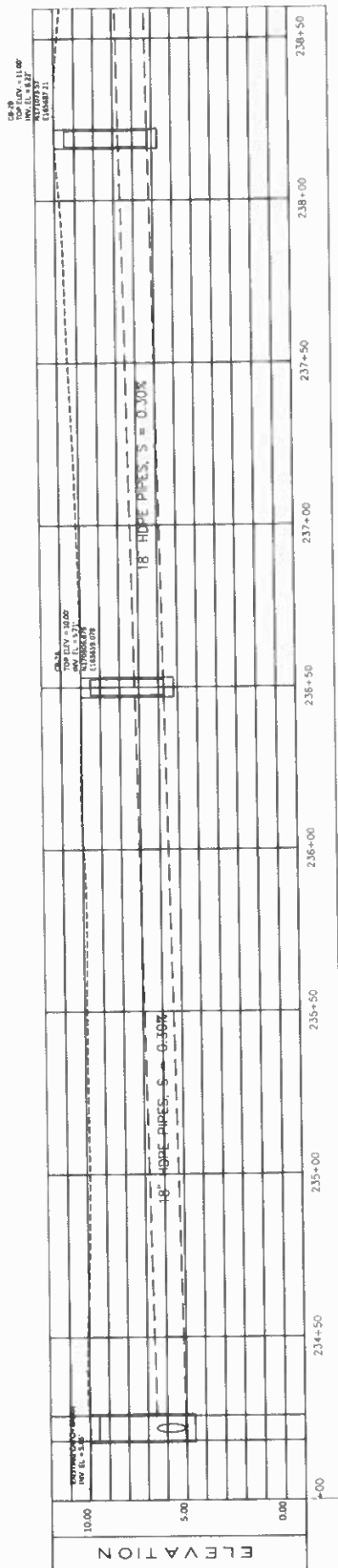
2 DEMOLITION PLAN
D-2.0 NOT TO SCALE

NO.	DATE	DESCRIPTION	BY	APPR.
COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS				
DEPARTMENT OF PUBLIC WORKS				
TECHNICAL SERVICES DIVISION				
PROJECT TITLE				
ROAD REPAIR FROM MANUSAGOR GUARDRA ROAD				
INTERSECTION TO JICA ROAD AND GUARDRA				
(CONTRACT NO. 100-0000000000000000)				
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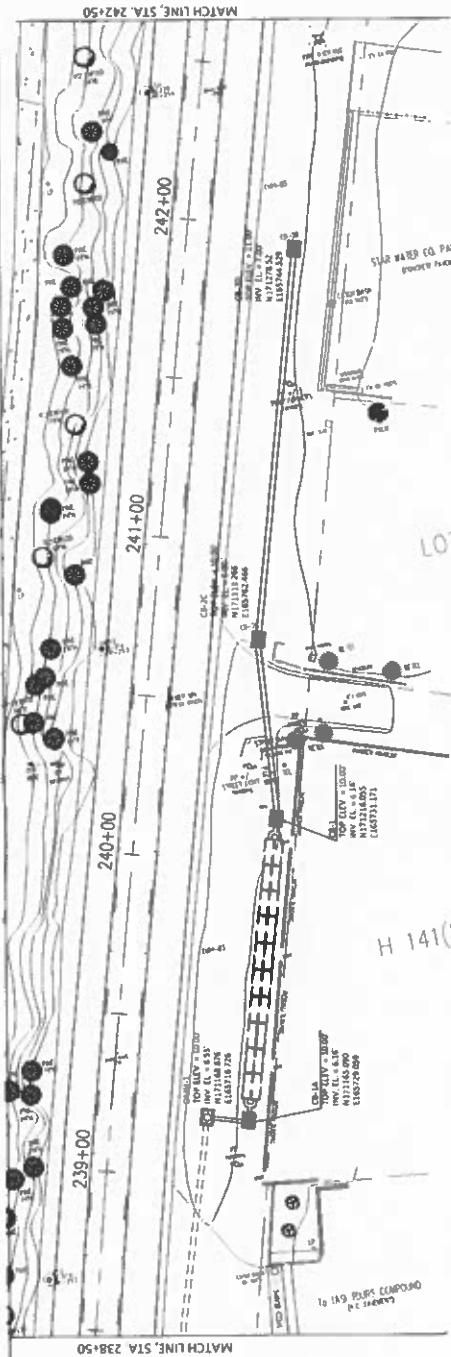


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C-1.0 SCALE: 1" = 30'

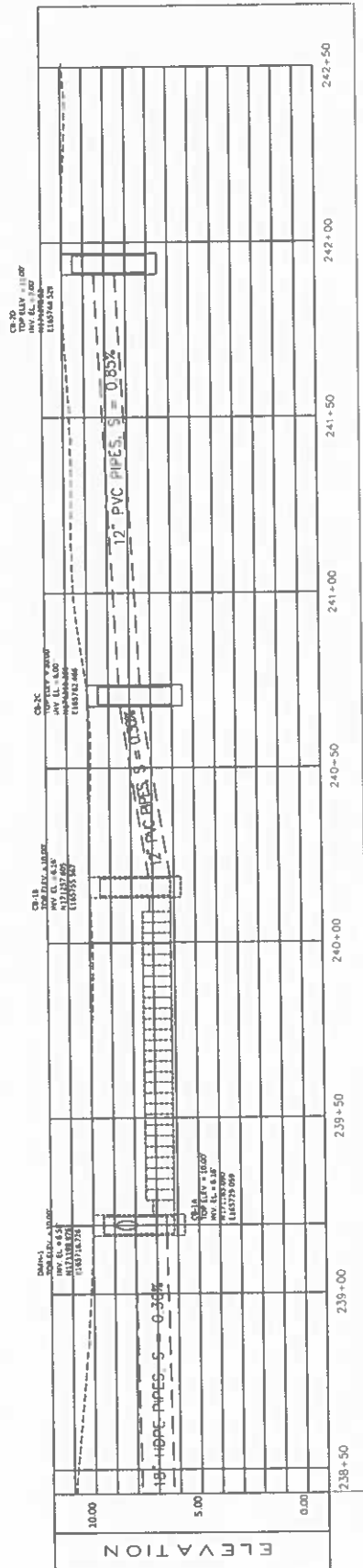


2 DRAINAGE PROFILE
C-1.0 SCALE: H 1" = 30'
V 1" = 6'

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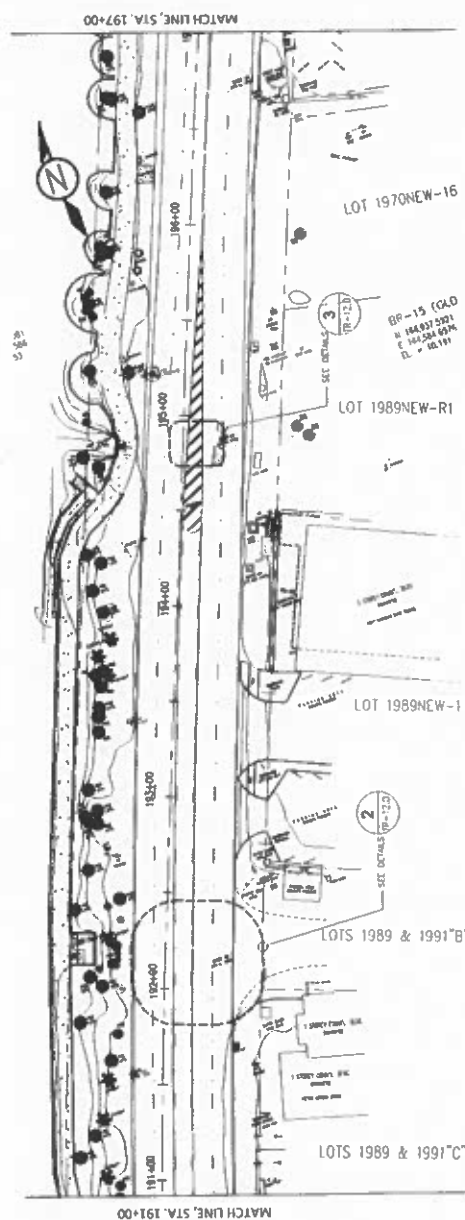
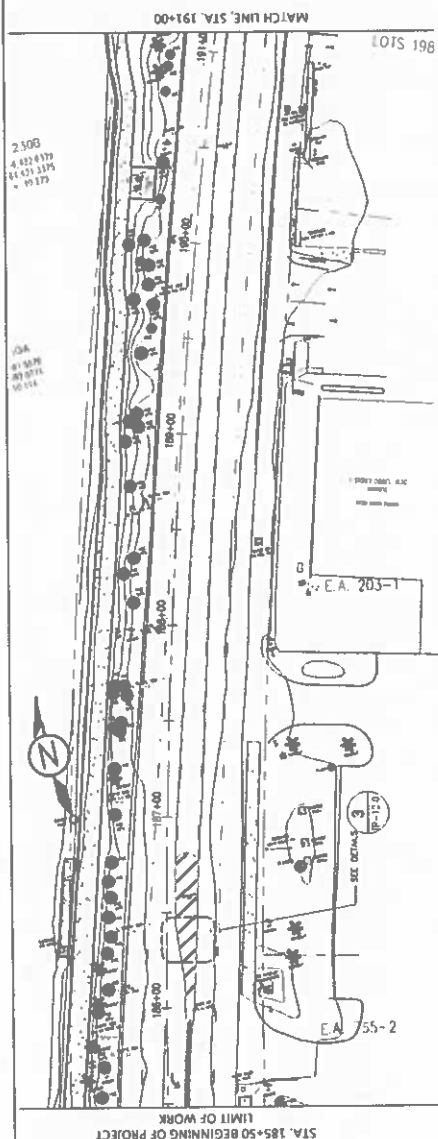


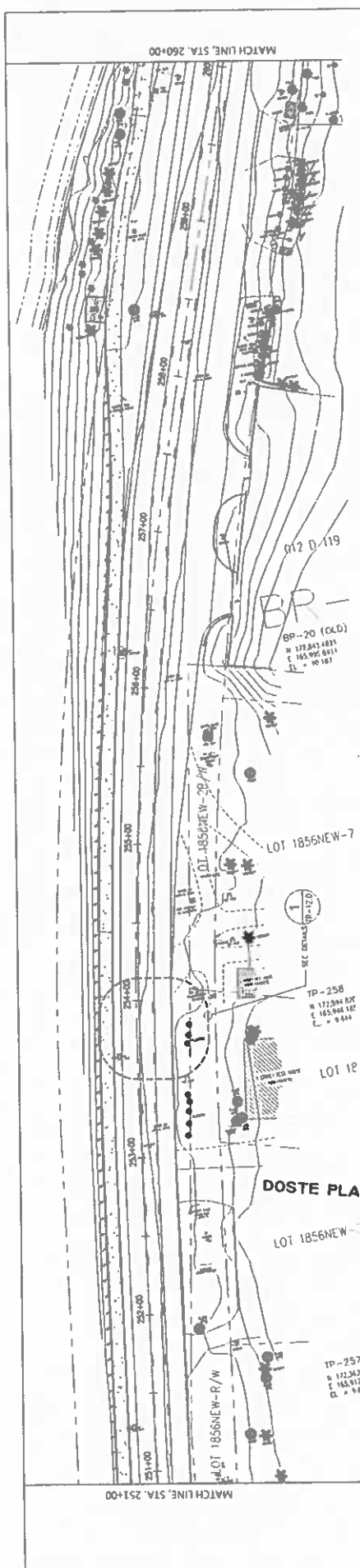
1 DRAINAGE PLAN
C-1.0 SCALE: 1" = 30'



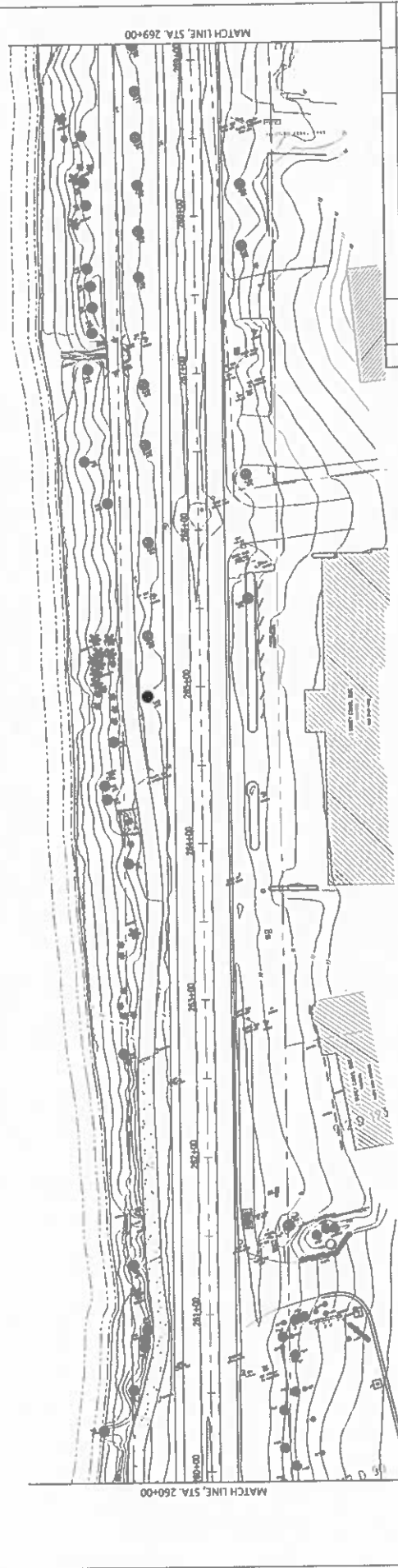
2 DRAINAGE PROFILE
SCALE H 1" = 30'
V 1" = 6'

NO.	DATE	DESCRIPTION	BY	APPROV
COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS				
DEPARTMENT OF PUBLIC WORKS				
TECHNICAL SERVICES DIVISION				
PROJECT TITLE	BEACH WALKER FROM ANCHORAGE TO BEACH ROAD			
LOCATION	PITCOSTON TO WOOD BEACH ROADWAY			
STATUS	(COMPLETED)			
CONTRACT	DUNHAM, HETTEL & S. ROYAL			
	STA 134+50 to 142+50			
<div> <div> C-20 </div> <div> DATE ISSUED: 12/10/98 DATE RECD: 12/10/98 DATE FORW: 12/10/98 DATE FILED: 12/10/98 </div> </div>				
<div> <div> DEPARTMENT OF PUBLIC WORKS </div> <div> TECHNICAL SERVICES DIVISION </div> </div>				

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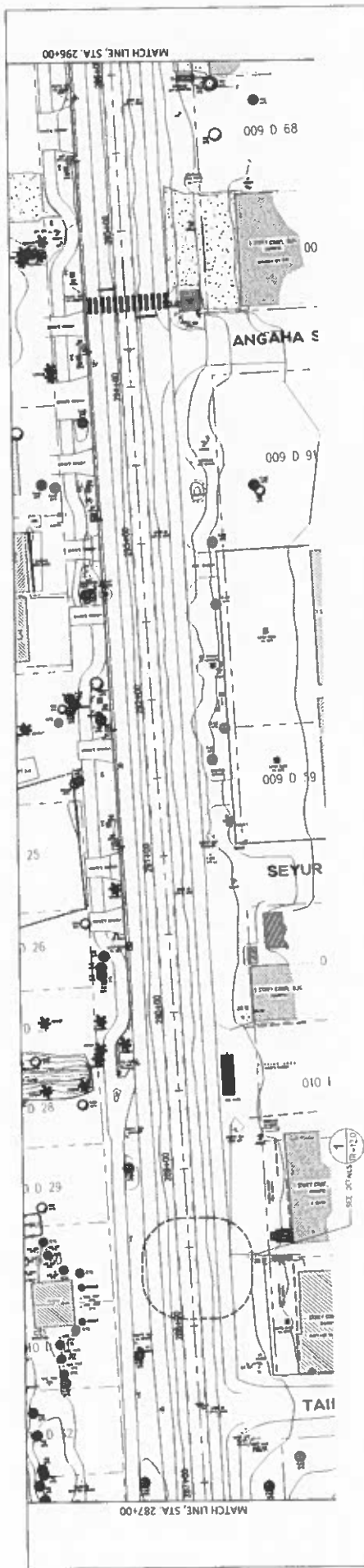


1 PAVEMENT MARKERS LAYOUT
 TR-5.0 NOT TO SCALE

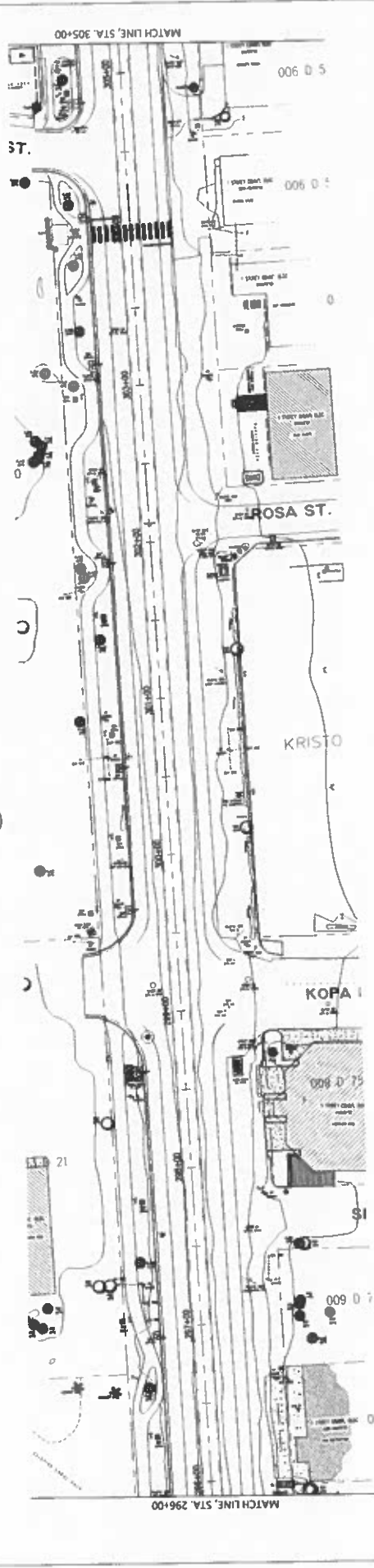


2 PAVEMENT MARKERS LAYOUT
 TR-5.0 NOT TO SCALE

NO.	DATE	DESCRIPTION	BY	APPR.
COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS				
DEPARTMENT OF PUBLIC WORKS				
TECHNICAL SERVICES DIVISION				
PROJECT TITLE: ROAD IMPROVEMENT PROJECT				
SHEET NO. 1856NEW-7 AND 1856NEW-10				
ATTENTION: TO BE USED FOR ROADWAY				
CONTRACT NO. 1856NEW-7				
CONTENT: PAVEMENT MARKERS LAYOUT				
DATE: 11/14/2014				
DRAWN BY: J. J. J. J.				
CHECKED BY: J. J. J. J.				
APPROVED BY: J. J. J. J.				
DATE: 11/14/2014				
SHEET NO. 1856NEW-7				
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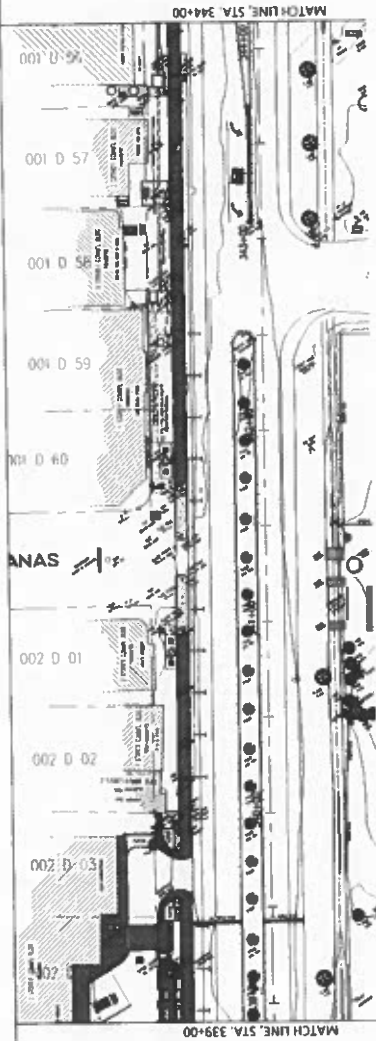


1 PAVEMENT MARKERS LAYOUT
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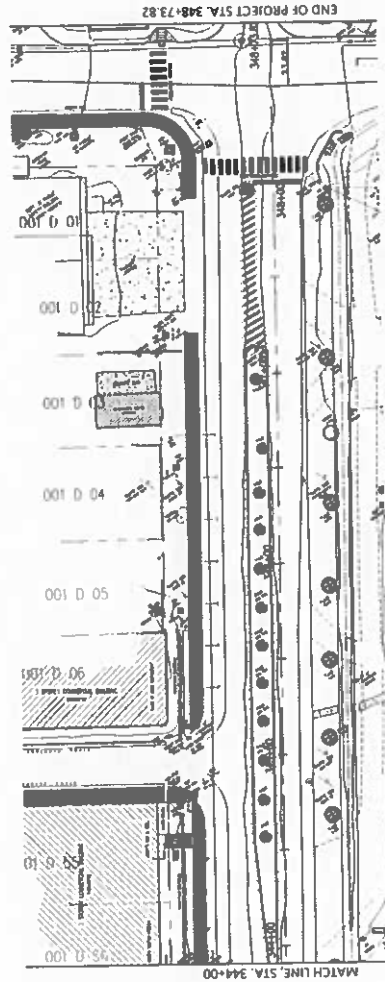


2 PAVEMENT MARKERS LAYOUT
TR-7.0 NOT TO SCALE

NO.	DATE	DESCRIPTION	BY	APPR.
COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS				
TECHNICAL SERVICES DIVISION				
DEPARTMENT OF PUBLIC WORKS				
PROJECT TITLE: BEACH ROAD FROM KROSA ROAD TO KROSA ROAD				
ATTENTION: TO KROSA ROAD				
CONTENT: PAVEMENT MARKERS LAYOUT				
1/4" = 20' - 0" (1:480)				
TR-7.0	DATE	BY	APPR.	22 OF 44

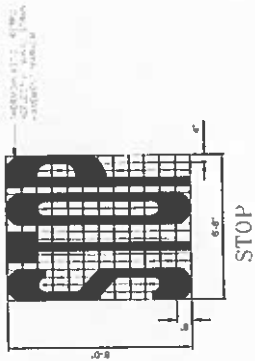


1 PAVEMENT MARKERS LAYOUT
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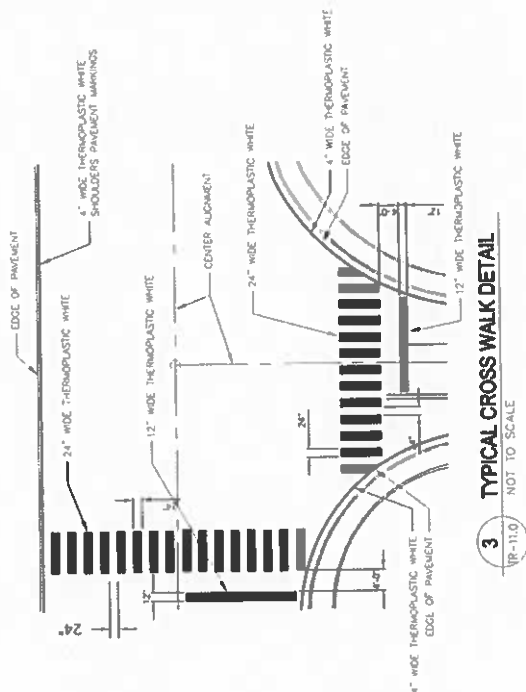


2 PAVEMENT MARKERS LAYOUT
 1/8"=100' NOT TO SCALE

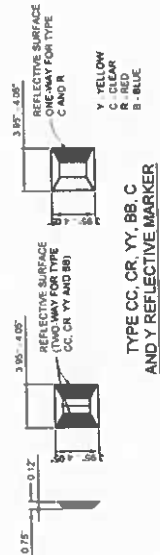
NO.	DATE	DESCRIPTION	BY	APPR.
COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS				
DEPARTMENT OF PUBLIC WORKS				
TECHNICAL SERVICES DIVISION				
PROJECT TITLE				
BEACH ROAD REPAIR FROM MARASO CORNER ROAD				
INTERSECTION WITH MARASO ROAD				
(CONG. MASTER PLAN)				
CONTRACT				
AVIATION MARKERS LAYOUT				
(1/8"=100' NOT TO SCALE)				
PROJECT NO.				
TR-10.0				
DATE				
SEP 20 2023				
DRAWN BY				
ASS-001				
CHECKED BY				
23 OF 44				



2 DETAIL
TP-11.0 NOT TO SCALE



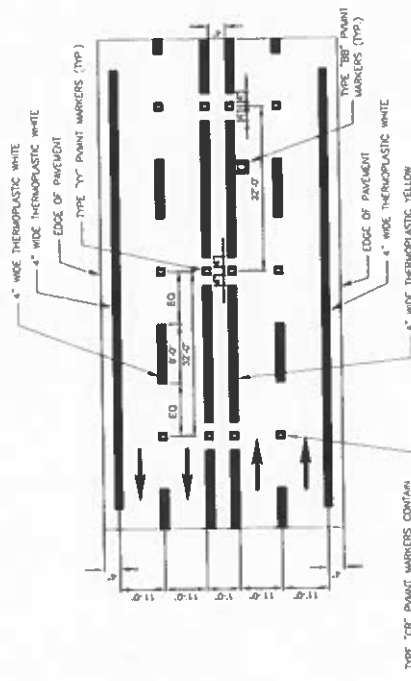
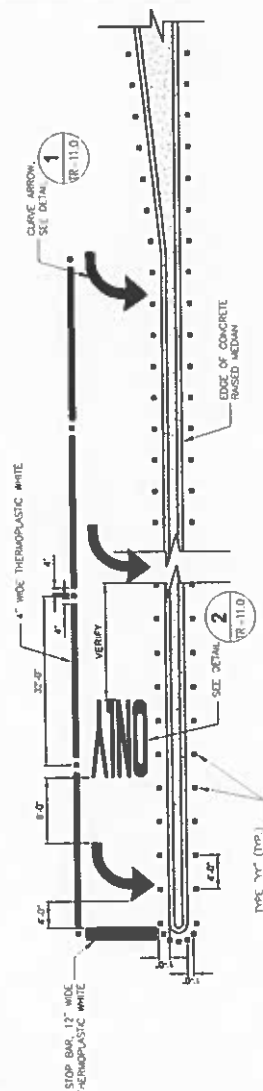
3 TYPICAL CROSS WALK DETAIL
TP-11.0 NOT TO SCALE



NOTE:
MARKERS AT FIRE HYDRANTS SHALL BE REPLACED WITH TYPE BB REFLECTIVE MARKERS

4 TYPICAL RAISED PAVEMENT MARKERS DETAIL

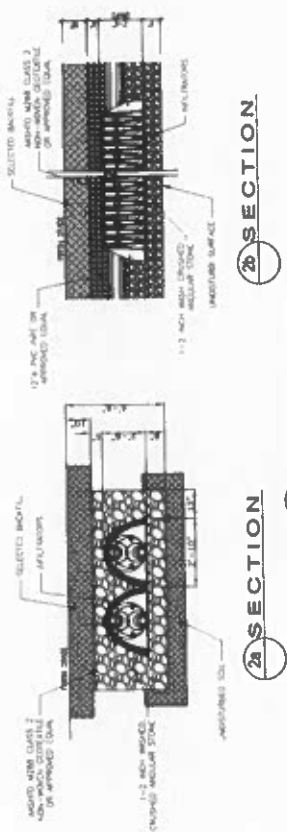
NO	DATE	DESCRIPTION	BY	APPR.
COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS U.S. DEPARTMENT OF PUBLIC WORKS TECHNICAL SERVICES DIVISION				
PROJECT TITLE:		ROAD REPAIR FROM MONSIEGRO GUERRERO ROAD INTERSECTION TO MACHO BEACH ROAD/AMP (CDBG-DISASTER RELIEF)		
OPEN ORDER		CASH SUPP.	CONTENT: PAYMENT VOUCHER DETAILS	
OF 10 VOUCHERS BY:		DATE: 5/27/2021		
DEPARTMENT OF PUBLIC WORKS		TITLE:		



FOUR (4) LANE PAVEMENT MARKERS & CENTERLINE PAVEMENT MARKERS DETAIL

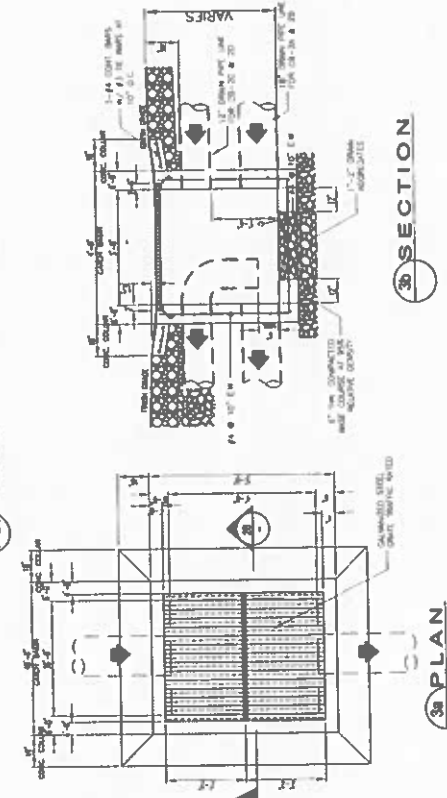
GENERAL NOTE:
1. PAVEMENT MARKING AND STRIPING SHALL CONFORM TO THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND AS AMENDED LAYOUT AND INSTALLATION OF PAVEMENT MARKING AND STRIPING SHALL BE DONE BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK THE LAYOUTS WITH THE ENGINEER PRIOR TO PERFORMING THE WORK.
3. THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING ROAD AND RIGHT-OF-WAY PRIOR TO THE ORDER OF MATERIALS & PERFORMING THE WORK.

[illegible]



2a SECTION

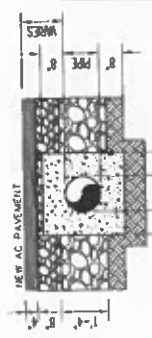
2b INFLTRATOR DETAIL



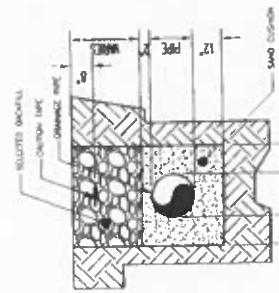
3a PLAN

3b SECTION

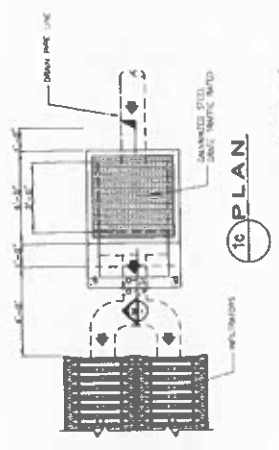
3 CATCH BASIN DETAILS (CB-2)



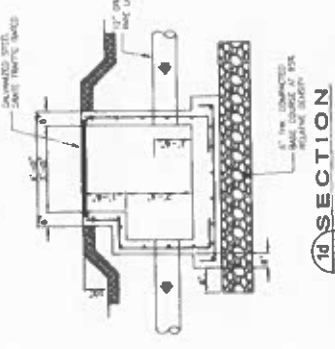
CASE 2 @ PAVEMENT



CASE 1 @ GRADE



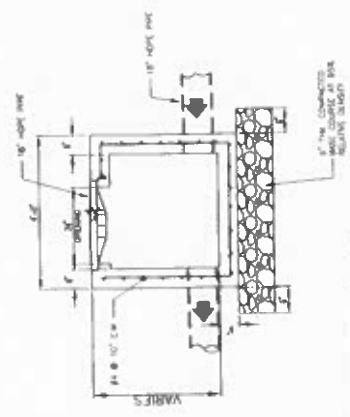
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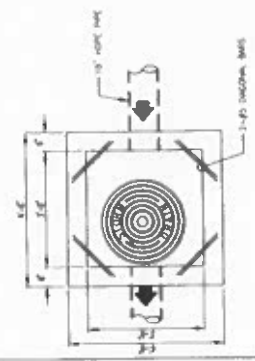
1b SECTION

1 AT FRONT OF TASI TOURS

1 CATCH BASIN DETAILS (CB-1)



4 DRAINAGE MANHOLE DETAILS (DMH)

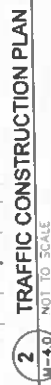


4 DRAINAGE MANHOLE DETAILS (DMH)

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COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS
DEPARTMENT OF PUBLIC WORKS
TECHNICAL SERVICES DIVISION
PROJECT TITLE: SAATCHI ROAD IMPROVEMENTS
DRAWING NO.: 100-000000-000000
DATE: 08/14/2014
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

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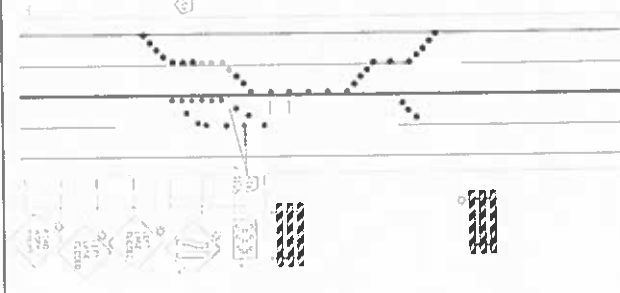
PROFIT UNIT SPEED PROG 10 PROG 20	SPACING ADVANCED MACHINE SIZES	TAPER LENGTH (1)	SPACING CHANNELING DEVICES (2)	BUFFER SIZES (3)	DECISION SIZES DISTANCE
5	250	250	25	35	560
0 - 30	325	350	25	170	730

1. INSERT SPACING CHAINS AND LATCHES AND SHOW CHAIN AND LATCH INSTALLATION.
2. DETERMINE "END ROAD MARK" SIGNS ARE NECESSARY.
3. CONSIDER THE INSTALLATION OF A PAVEMENT SURFACE COATING FOR COLLECTOR. IF COATING IS ADVANTAGEOUS TO DUST SUPPLY, IT SHOULD BE IN THE CONSIDERATION.
4. DETERMINE THE INSTALLATION OF A ROAD MARKING 220-11 SIGN, MODIFIED, OR 220-22 SIGN FOR SEVEN DAY ADVANCE WARNING OF OBSTRUCTION.
5. FOR ANY EXTENSION, OR OBTAINING OF EGRESS OF 15 ft. SEE THE LATEST MANUAL ON ROAD AND TRAIL CONTROL DEVICES THROUGH PAVEMENT SURFACES.
6. FOR ROAD CLOSURES GREATER THAN 100 FT., SEE FIELD MANUAL, PAGE 59, SIGNAGE REQUIREMENTS.
7. SELECT APPROPRIATE MATERIAL, SEE SIGNING KEY.
8. PROVIDE SUFFICIENT SURFACES, DETAILING MATERIAL, TIME AND QUANTITY OF MATERIALS, REQUIRED FOR CONCRETE FOR PAVEMENT SURFACES.
9. REPAIRS OF CRACKS ARE TO BE USED FOR ROAD MARKING.

- ☐ 4" SOLID YELLOW REMOVABLE PREPAGATED PLASTIC MARKING
- ☐ DUALS. TYPE 1 ON TRUCK & HARDCORE OR VERTICAL PANEL
- ☐ SURFACE MOUNTED DELTA-TOR
- ☐ SOLID LINE PAVEMENT MARKING WITH TEMPORARY RAISED PAVEMENT MARKERS AT 10 SPACING ON HOT MIXED ASPHALT

NO.		DATE		DESCRIPTION		BY		APPR.	
COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS									
DEPARTMENT OF PUBLIC WORKS									
DASH		CASH		PROJECT TITLE:					
UNIT		SUPPLY		BEACH ROAD REPAIR FOR WONGSOGOR GUERRENO ROAD					
				INTERSECTION TO MICRO BEACH ROAD/AMP					
				(CRAB-CHASER 1 RELIEF)					
CITY/ROADWAY NUMBER				CONTENT:					
				TRAFFIC CONSTRUCTION PLAN					
SHEET NO. 25-25-25-25-25				DATE		DRAWN		DATE	
SHEET 31 OF 44				DATE		DRAWN		DATE	

STATION	SPACING	SPACING	SPACING	SPACING	SPACING
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STATION	SPACING	SPACING	SPACING	SPACING	SPACING
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TRAFFIC CONSTRUCTION PLAN

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TRAFFIC CONSTRUCTION PLAN

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TRAFFIC CONSTRUCTION PLAN

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TRAFFIC CONSTRUCTION PLAN

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NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2011 STANDARD SPECIFICATIONS FOR PUBLIC WORKS, AS AMENDED.
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2011 STANDARD SPECIFICATIONS FOR PUBLIC WORKS, AS AMENDED.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2011 STANDARD SPECIFICATIONS FOR PUBLIC WORKS, AS AMENDED.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2011 STANDARD SPECIFICATIONS FOR PUBLIC WORKS, AS AMENDED.
- ## GENERAL NOTES
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 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2011 STANDARD SPECIFICATIONS FOR PUBLIC WORKS, AS AMENDED.

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ONE LANE
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LANE
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UTILITY
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RIGHT LANE
CLOSE
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ZONE

END
ROAD WORK

STOP

NO
PASSING
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UTILITY
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SHOULDER
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SURVEY
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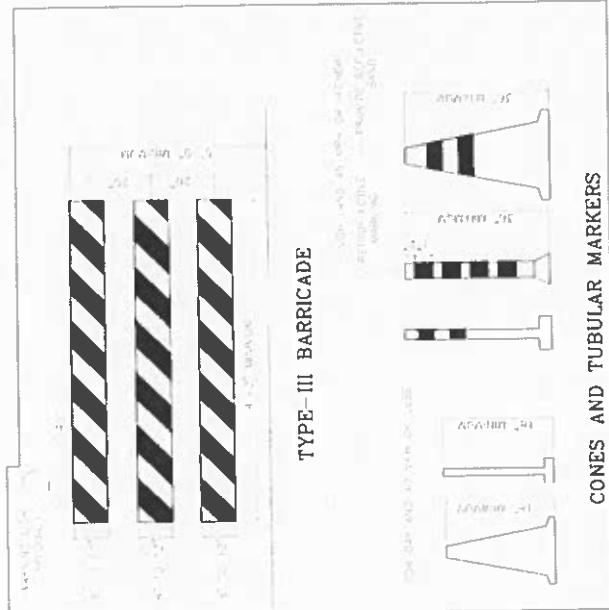
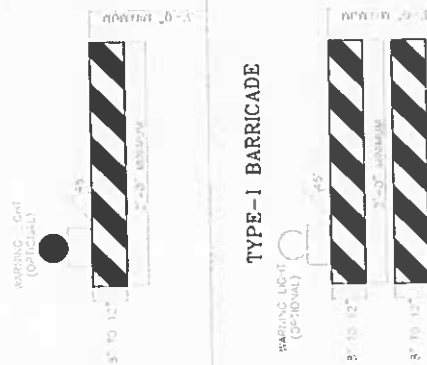
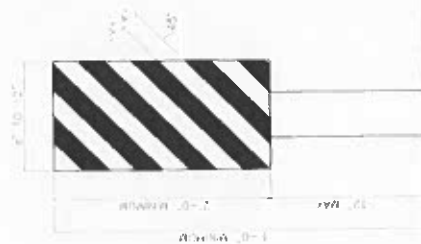
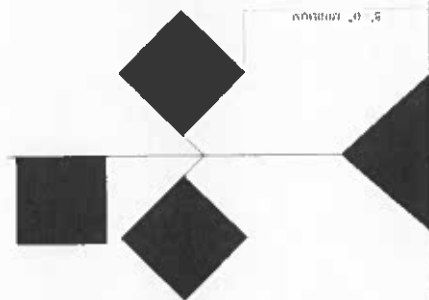
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TEMPORARY ROAD TRAFFIC SIGNS

NO.	DATE	DESCRIPTION	BY	APPR.
COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS				
DEPARTMENT OF PUBLIC WORKS				
TECHNICAL SERVICES DIVISION				
PROJECT TITLE: BEACH ROAD REPAIR FROM MONSIEUR GUERREIRO ROAD INTERSECTION TO MICRO BEACH ROAD/AMP (CONC/MASTER RELIEF)				
CONTENT: TEMPORARY ROAD TRAFFIC SIGNS				
DATE: M-6.0	DATE: SEP 12/2021	DATE: SEP 12/2021	DATE: SEP 12/2021	DATE: SEP 12/2021
DATE: M-6.0	DATE: SEP 12/2021	DATE: SEP 12/2021	DATE: SEP 12/2021	DATE: SEP 12/2021
DATE: M-6.0	DATE: SEP 12/2021	DATE: SEP 12/2021	DATE: SEP 12/2021	DATE: SEP 12/2021



CHANNELIZING DEVICES AND HIGH LEVEL WARNING DEVICES DETAILS

[illegible]

DATE OF THIS REPORT ON	DATE	ISSUING AGENCY	DPW	DATE	SEP 1 2021
		M-7.0	RECALL	ASSHOWN	PAGE 34 OF 44

EROSION CONTROL NOTES

EROSION AND SEDIMENT CONTROL
The project must be designed to minimize adverse off-site effects of soil erosion and resulting sediment loss through the use of proper construction techniques and by installing erosion temporary and permanent management practices. All job-discharging activities performed by the Contractor will be accomplished in such manner as to prevent loss of sediment from the project site. To accomplish this, the following standards shall be in effect during construction.

EROSION AND SEDIMENT CONTROL

EROSION AND SEDIMENT CONTROL

- 2 The recommended sequence for the installation and removal of erosion and sediment control measures is as follows: perimeter control measures (silt barriers and fencing); stabilize all denuded areas, including of riparian corridor; install grading (temporary slope stabilization) as needed; installation of siltbank stabilization of all bank erosion; installation of silt or vegetative materials, removal of erosion control measures, and seeding.

3. **Dump at well-sourcing activities.** The Contractor will take appropriate steps using accepted construction methods to minimize exposure of unprotected soil and other construction materials to rainfall. Particular care must be exercised when dealing with loose soils, fill materials, or soil on slopes. The Contractor will maintain a date log of all soil disturbance activities. The Contractor will maintain a log of all soil disturbance activities, including a description of the activity, the date, the time, the location, the weather, and the results of the activity.

4. If, during the course of construction, any area of soil (including accretions) remains exposed for more than seven(7) calendar days without suitable erosion control, then temporary stabilization measures should be initiated unless such disturbing activities are planned on areas within an adjacent slope and down-slope portions of the disturbed stabilization measures are perimeter controls and soil barriers (such as rock bags and bag filling) along all exposed soil. If an exposed soil could overlie such areas. Note that perimeter controls alone may not be successful; movement of large amounts of sediment produced by heavy rain on exposed soil could overwhelm such measures.

- [illegible]

6. The Contractor will inspect, as specified practices at least once every fourteen calendar days, and after all material events to ensure that each specified practice remains intact. Any damage noted during such inspections shall be repaired promptly to restore the practice to original appearance. The Contractor will be responsible for maintenance of all damage noted during such inspections and for replacement of all such practices.

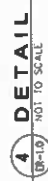
7. When water is used for dust control or to promote vegetation, the Contractor will prevent the escape of this water and any sediment it may carry from the construction site.

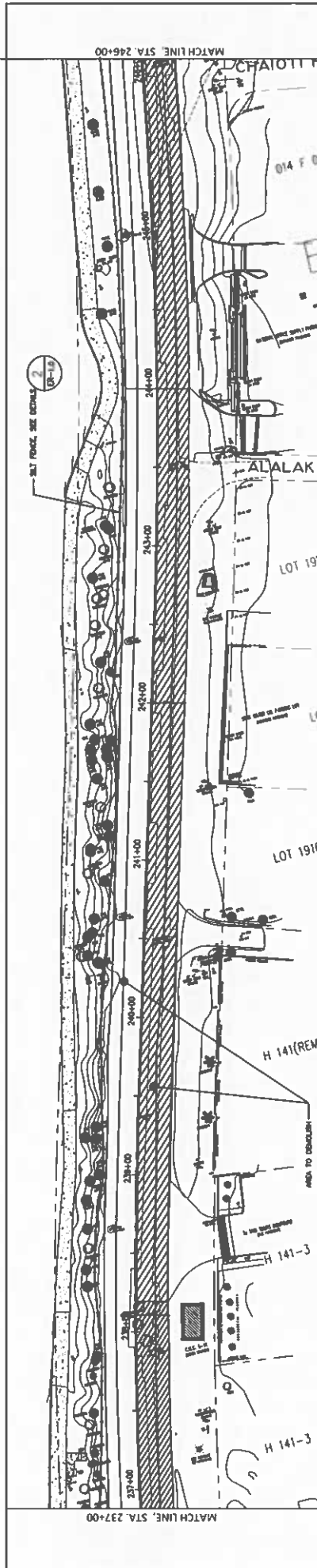
- c. Care must be exercised to prevent encroachment onto existing right-of-way or adjacent property. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.

9. During the six months prior to the post-treatment data, each temporary practice will be completely refilled and the area treated to the appropriate post-treatment condition. This involves top grading, and replacement of top or grass seed on all bare soil areas. A minimum vegetation density of seventy percent, or an equivalent sediment stabilization measure (mulch, straw, or otherwise), is required until vegetation is established.

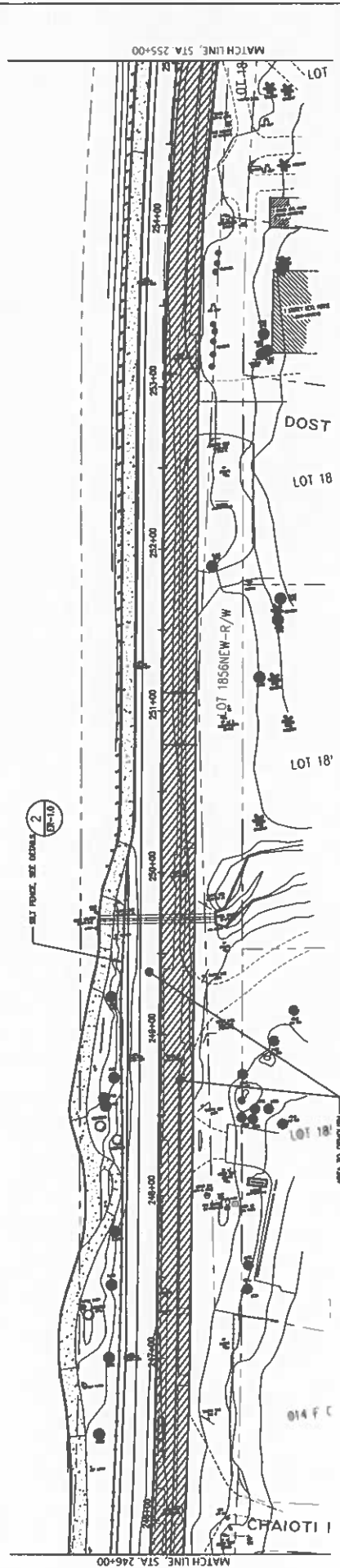
SPECIAL NOTE:

- THE DETAILS SHOWN IN THIS SHEET ARE THE BASIC ELEMENTS OF FLOW CONTROL & TEMPORARY EROSION PREVENTION MEASURES. THE CONTRACTOR SHALL DEVELOP DETAILED TEMPORARY EROSION & SEDIMENT PREVENTION PLANS TO COMPLY WITH THE METHOD OF CONSTRUCTION THAT THE CONTRACTOR PLANS TO ADOPT. THE PLANS MUST BE PREPARED WITH THE ASSISTANCE OF A REGISTERED CIVIL ENGINEER AND BE CERTIFIED TO MEET ALL D.E.O. REQUIREMENTS.

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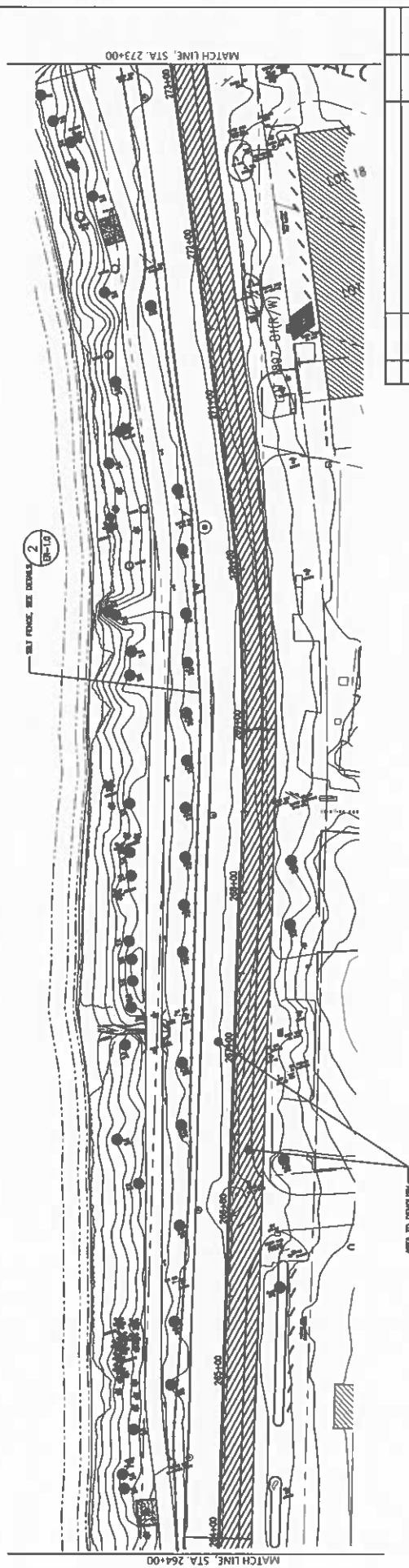
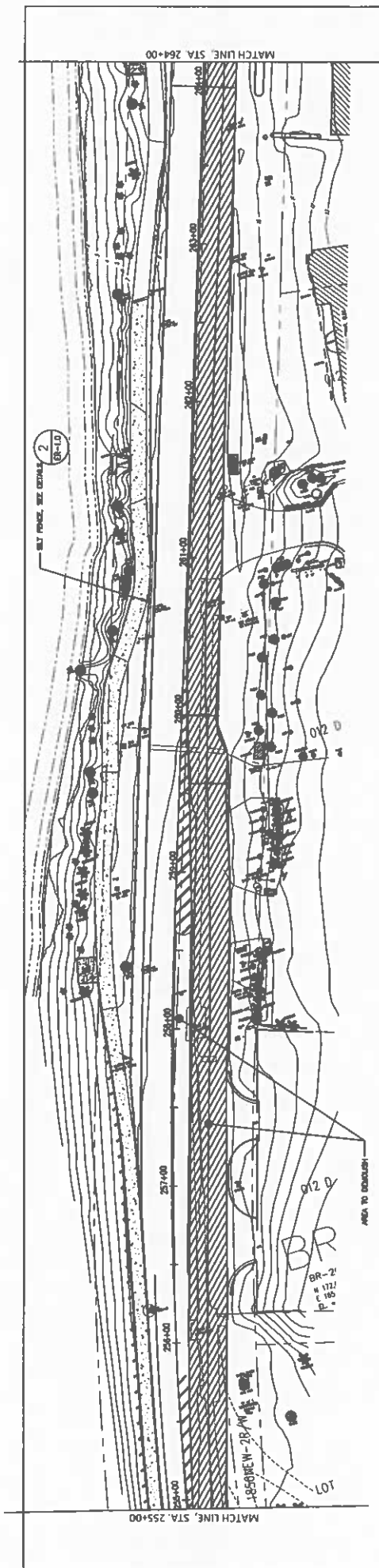


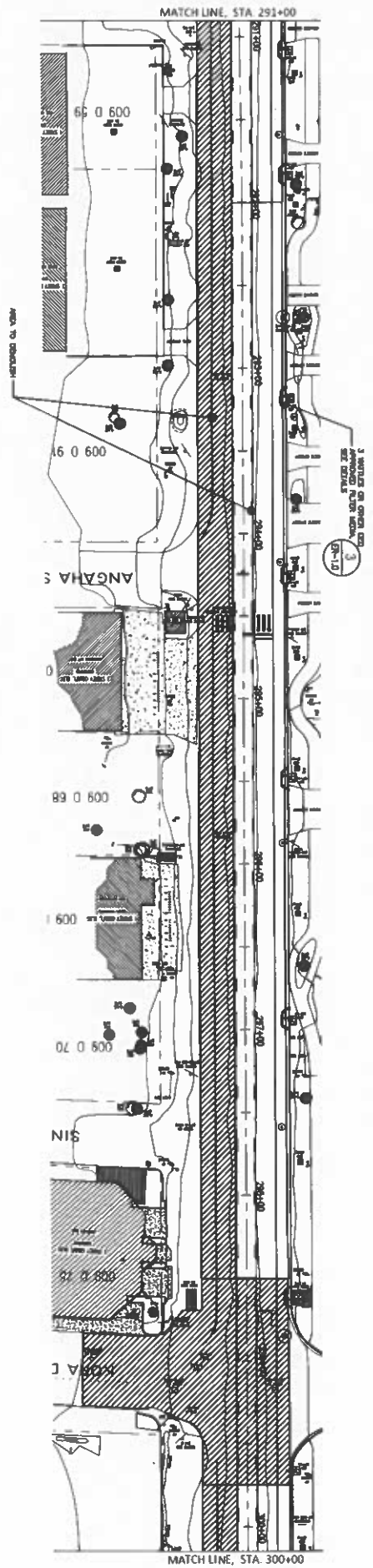
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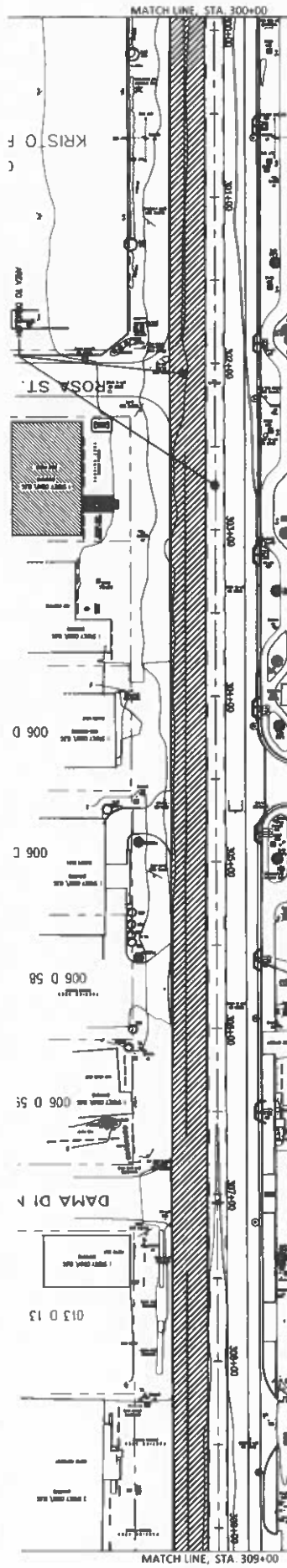
2 EROSION CONTROL PLAN
DB-10 NOT TO SCALE

NO.	DATE	DESCRIPTION	BY	APPR.
COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS				
DEPARTMENT OF PUBLIC WORKS				
TECHNICAL SERVICES DIVISION				
PROJECT TITLE: REPAIR FROM MONSIEUR GLENN ROAD				
LOCATION: INTERSECTION TO JACAO BEACH ROAD/AMP				
(CONC. DRAINAGE RELIEF)				
CONTRACT: EROSION CONTROL PLAN				
DATE: 211-00 to 251-00				
DRAWN BY: ER-50				
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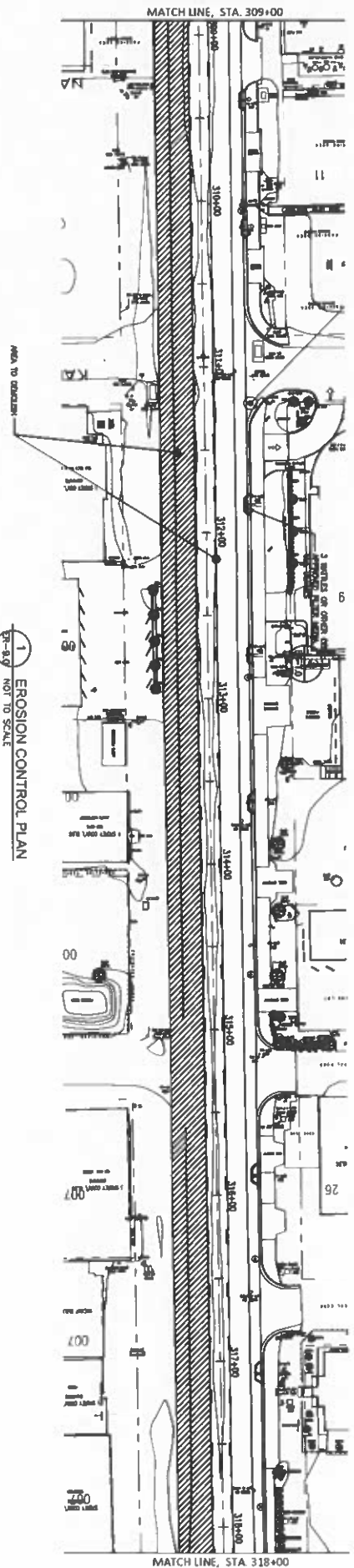


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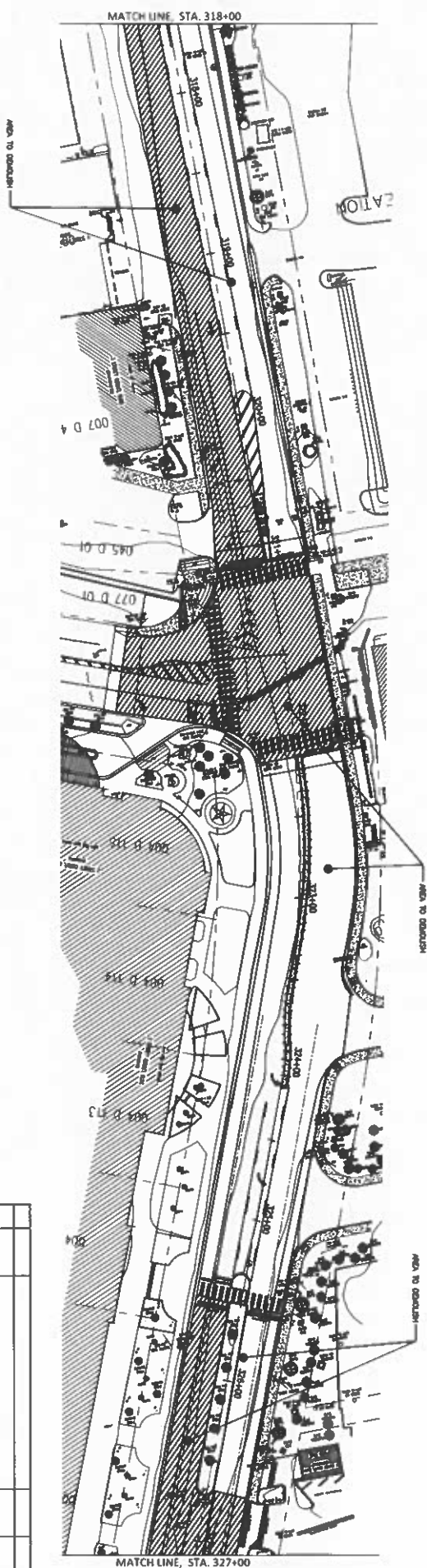


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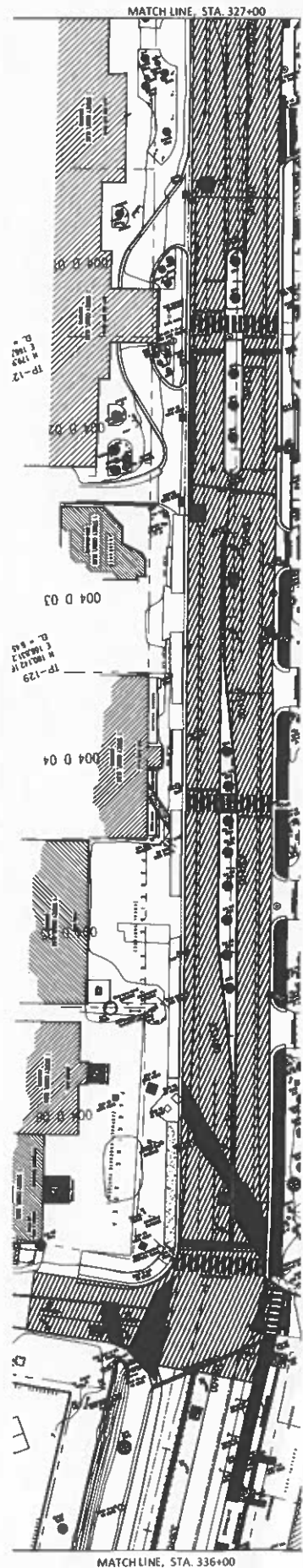


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2 EROSION CONTROL PLAN
ER-90 NOT TO SCALE

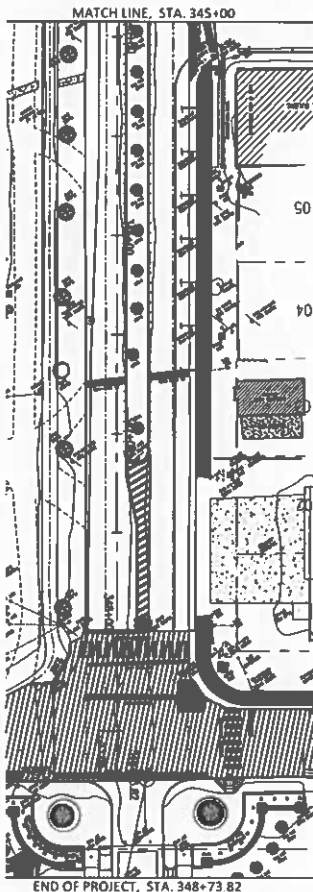
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1 EROSION CONTROL PLAN
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