

**COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS
NORTHERN MARIANAS HOUSING CORPORATION**

PUBLIC NOTICE

This Notice is paid by NMHC with HUD funds.

**NOTICE OF FINDING OF NO SIGNIFICANT IMPACT
AND NOTICE OF INTENT TO REQUEST A RELEASE OF FUNDS
09/09/2021**

Government of the Commonwealth of the Northern Mariana Islands
Northern Marianas Housing Corporation
Saipan, MP 96950 Tel: (670) 234-9447/6866

This notice shall satisfy the above-cited two separate but related procedural notification requirements.

REQUEST FOR RELEASE OF FUNDS

On or after September 27, 2021, the Government of the Commonwealth of the Northern Mariana Islands will submit a request to the U.S. Department of Housing and Urban Development, Washington D.C., for the release of Community Development Block Grant Disaster Recovery (CDBG-DR) Supplemental Appropriations for Disaster Relief Act, 2019 P.L. 116-20, enacted on January 27, 2020, announced via Federal Register Notice, to undertake the following activity and purposes in Saipan, Commonwealth of the Northern Mariana Islands:

Project/Activity Type	Purpose	Location	Total Project Cost
Public School System (PSS) William S. Reyes Elementary School Rehabilitation Project	To repair and restore the school damaged from Typhoon Yutu	Chalan Kanoa Village, Saipan	\$ 2,296,875.00

FINDING OF NO SIGNIFICANT IMPACT

The Government of the Commonwealth of the Northern Mariana Islands has determined that the above-listed projects will have no significant impact on the human environment. Therefore, an Environmental Impact Statement under the National Environmental Policy Act of 1969 (NEPA) is not required. Additional project information is contained in the Environmental Review Record (ERR) and is ready for public viewing on the Northern Marianas Housing Corporation (NMHC) website at www.nmhcgov.net or www.cnmi-cdbgdr.com; or you may visit the on file at the NMHC Central Office in Garapan, Saipan or NMHC CDBG-DR Office in Beach Road Chalan Laulau, Saipan during regular work hours, Monday through Friday except CNMI Holidays, from 7:30 A.M. to 4:30 P.M.

PUBLIC COMMENTS

Any individual, group or agency disagreeing with this determination or wishing to comment on the project may submit written comments to the Northern Marianas Housing Corporation. You may submit comments from the following options: Via mail to P.O. Box 500514, Saipan, MP 96950; Direct delivery to the central office in Garapan, Saipan or drop-box located in front of the building; and Via email at officemanager@nmhcgov.net. All comments received by **September 24, 2021, 4:30 p.m.**, will be considered by the Government of the Commonwealth of the Northern Mariana Islands prior to authorizing submission of a request for release of funds. Commentors should specify which part of this Notice they are addressing.

RELEASE OF FUNDS

The Government of the Commonwealth of the Northern Mariana Islands certifies to the U. S. Department of Housing and Urban Development (HUD), Washington D.C. that the Government of the Commonwealth of the Northern Mariana Islands and Governor Ralph DLG. Torres consent to accept the jurisdiction of the Federal Courts if an action is brought to enforce responsibilities in relation to the environmental review process, and that these responsibilities have been satisfied. The U. S. Department of Housing and Urban Development (HUD), Washington D.C. acceptance of the certification satisfies its responsibilities under the National Environmental Policy Act of 1969 and related laws and authorities, and allows the Government of the Northern Mariana Islands to use Program Funds.

OBJECTION TO RELEASE OF FUNDS

The U. S. Department of Housing and Urban Development (HUD) Washington D.C. will accept objections to its release of funds and the Government of the Northern Mariana Islands certification for a period of **fifteen days** following anticipated submission date or its actual receipt of the request (whichever is later) only if it is on one of the following bases: (a) the certification was not executed by the Certifying Officer of the Government of the Northern Mariana Islands; (b) the Government of the Northern Mariana Islands has omitted a step or failed to make a decision or finding required by the U. S. Department of Housing and Urban Development regulations at 24 CFR Part 58; (c) the grant recipient has incurred cost not authorized by 24 CFR Part 58 before approval of the release of funds by the U. S. Department of Housing and Urban Development; or (d) another Federal agency acting pursuant to 40 CFR Part 1504 has submitted a written finding that the project is unsatisfactory from the standpoint of environmental quality. Objections must be prepared and submitted in accordance with the required procedures of 24 CFR Part 58 and shall be addressed to Ms. Tennille Smith Parker, DRSI Division Director, HUD, via email at Tennille.S.Parker@hud.gov ; Tel: (202)402-4649. Potential objectors should contact the U.S. Department of Housing and Urban Development to verify the actual last day of the objection period.

/s/

Ralph DLG Torres
Governor, CNMI



U.S. Department of Housing and Urban
Development

451 Seventh Street, SW
Washington, DC 20410
www.hud.gov

espanol.hud.gov

Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58

Project Information

Project Name: Public School System: William S. Reyes Elementary School Building Rehabilitation Project

Responsible Entity: Northern Marianas Housing Corporation (NMHC)

Grant Recipient (if different than Responsible Entity):

State/Local Identifier:854856277

Preparer: Wilfred Villagomez, Project Supervisor

Certifying Officer Name and Title: Jesse S. Palacios, Corporate Director

Grant Recipient (if different than Responsible Entity):

Consultant (if applicable): None

Direct Comments to: Northern Marianas Housing Corporation, P.O. Box 500514, Saipan, MP 96950; Email: nmhc@nmhc.gov.mp; Fax: (670)234-9021

Project Location: Chalan Kanoa Village, Saipan, MP 96950

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

To repair and restore the school to pre-disaster conditions damaged from Typhoon Yutu. Repairs include repair of buildings B, D, E, F, G, I, the cafeteria, the maintenance building, the basketball court, and reconstruction of campus-wide walkways, chain-link fencing and gates, the canteen building, and the water pump room. The building B repairs will include a structural inspection, replacing gypsum board ceiling, floor tiles, electrical outlets, light fixtures, prepping and painting interior walls. Building D include removing and replacing roofing, metal ridge caps, decking boards, ceiling tiles. Building E include removing and replacing metal roofing, metal ridge caps, decking boards, ceiling tile, windows, and light fixtures. Building F include removing and replacing metal roofing, roof decking, the gutter system, tile flooring, electrical fixtures, light

fixtures, a suspended acoustic ceiling system, exterior floodlights, video surveillance cameras, and glass doors. The interior and partitioned walls will also be cleaned, disinfected, and repainted at the building. Building G includes removing and replacing bathroom door and metal bar window guards. Building I include cleaning and prepping interior walls and siding, removing and replacing metal roofing, the gutter system, a weather head and its components, cement siding on soffits and exterior walls, lighting fixtures, ceiling tiles and boards, doors, windows, hurricane shutters, floodlights, air conditioning units, and high vinyl resilient base. The covered walkway for the building will be completely replaced. The cafeteria building includes a structural inspection and removing and replacing ceiling tiles and tile flooring. Air conditioning units will be replaced throughout the campus of the school. The maintenance building includes removing and replacing corrugated metal roofing and damaged components of the roof truss framing. Repairs at the basketball court include removing and replacing a backboard and bleachers. Campus-wide free standing covered walkways, chain link fences and gates, the canteen building and the water pump room will all be demolished and replaced conforming to the pre-disaster design function, and capacity of the original structures.

Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:

The Public School System has been working closely with FEMA since Super Typhoon Yutu. FEMA has assessed the damage from Yutu and determined that the Public School System is eligible for assistance. FEMA will fund 90% of the repair to damaged buildings. The Public System needs to fund 10% as a cost share. The Public School System is under financial strain and needs assistance from CDBG-DR to fund the 10% cost share for this project.

FEMA and CDBG-DR have agreed upon a flexible match where CDBG-DR will fund certain projects to 100%. The projects that are funded 100% by CDBG-DR will be considered PSS's 10% matching cost share for FEMA.

Existing Conditions and Trends [24 CFR 58.40(a)]:

The Public School System has applied for FEMA mitigation assistance to harden the structure of its buildings and protect it from future typhoons. Specifically changing louvers for windows and changing wooden doors for aluminum doors. All projects will be finished according to the 2018 building code. WSR did not qualify for FEMA hazard mitigation program.

Funding Information

Grant Number	HUD Program	Funding Amount
B-19-DV—69-001/002		\$ 2,296,875.00

Estimated Total HUD Funded Amount: \$ 2,296,875.00

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]:

\$ 2,296,875.00

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Commonwealth Ports Authority has determined the project site is free from the runway clear zones.
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Coastal Resources Management has determined that the project potential effects to coastal resources are likely to be less than significant adverse effect to coastal resources, the project site is not partially or wholly situated in any of Department of Coastal Resource Management's designated Areas of Particular Concern (APCs) nor within close proximity to an environmentally sensitive area.
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Department of Public Works has determined that the project is not located in the special flood hazard area.
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5		

Clean Air Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Bureau of Environmental and Coastal Quality (BECQ) has concurred with the determination of the NMHC that there will be no impact on air quality for the project.
Coastal Zone Management Coastal Zone Management Act, sections 307(c) & (d)	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Coastal Resources Management has determined that the project potential effects to coastal resources are likely to be less than significant. *Contractors shall obtain the necessary permits prior to any construction activities*
Contamination and Toxic Substances 24 CFR Part 50.3(i) & 58.5(i)(2)	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Bureau of Environmental and Coastal Quality (BECQ) has concurred with the determination of the NMHC that there are no suspected sites contaminated with toxic chemicals or radioactive materials.
Endangered Species Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Division of Fish and Wildlife (DFW) has determined that there is no record of special status species at the project site.
Explosive and Flammable Hazards 24 CFR Part 51 Subpart C	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Bureau of Environmental and Coastal Quality (BECQ) has concurred with the determination of the NMHC that there is no suspected sites contaminated with toxic chemicals or radioactive materials.
Farmlands Protection Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Natural Resources Conservation Service (NCRS) has determined that the project site is not located in protective Farmland area.
Floodplain Management Executive Order 11988, particularly section 2(a); 24 CFR Part 55	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Department of Public Works has determined that the project is not located in the special flood hazard area.
Historic Preservation National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Historic Preservation Office (HPO) concurs with NMHC's findings of effect of No Adverse Effect on Historic Properties for this undertaking.
Noise Abatement and Control Noise Control Act of 1972, as amended by the Quiet	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Bureau of Environmental and Coastal Quality (BECQ) has concurred with the determination of the NMHC that the project

Communities Act of 1978; 24 CFR Part 51 Subpart B		will not involve development of noise sensitive uses. The project is not within a major roadway or rail road. *Contractors shall obtain the necessary permits prior to any construction activities*
Sole Source Aquifers Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	There are no sole source aquifers located at the project site.
Wetlands Protection Executive Order 11990, particularly sections 2 and 5	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Coastal Resources Management (CRM) had determined that the project site is not partially or wholly situated in any of DCRM's designated Areas of Particular Concern (APCs) nor within close proximity to an environmentally sensitive area.
Wild and Scenic Rivers Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	There are no wild or scenic rivers located at the project site.
ENVIRONMENTAL JUSTICE		
Environmental Justice Executive Order 12898	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The project will not cause any adverse impact to the environment. The project is to enhance and a safe livelihood.

Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 & 1508.27] Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features and resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

Impact Codes: Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
LAND DEVELOPMENT		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	2	Pursuant to the zoning regulations the project activity is acceptable.
Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff	2	The soil suitability of the proposed project is suitable for the project. The minimal impact since it does not involve digging or dredging. It replaces damaged buildings and other contents.
Hazards and Nuisances including Site Safety and Noise	2	The proposed project would involve minimal hazards and nuisances. Contractors obtaining permit must adhere to the permitting requirements such as construction safety and noise.
Energy Consumption	2	The construction activity may require little to no use of energy besides equipment that requires the use of fossil fuels and electric generator.

Environmental Assessment Factor	Impact Code	Impact Evaluation
SOCIOECONOMIC		
Employment and Income Patterns	2	No Adverse impact are anticipated from the project on employment and income within the project area.
Demographic Character Changes, Displacement	2	There are no character changes or displacement for this project. The project will mitigate the flooding issue at the project site.

Environmental Assessment Factor	Impact Code	Impact Evaluation
COMMUNITY FACILITIES AND SERVICES		
Educational and Cultural Facilities	2	There is no adverse impact on educational and cultural facilities.
Commercial Facilities	2	There is no adverse impact on commercial facilities.
Health Care and Social Services	2	There is no adverse impact on Health Care and Social Services facilities.
Solid Waste Disposal / Recycling	2	There is no adverse impact on Solid Waste Disposal and Recycling facilities.

Waste Water / Sanitary Sewers	2	There is no adverse impact on Waste Water sand Sanitary Sewer facilities.
Water Supply	2	There is no adverse impact on Water Supply facilities.
Public Safety - Police, Fire and Emergency Medical	2	There is no adverse impact on Public Safety Services.
Parks, Open Space and Recreation	2	There is no adverse impact on Parks, Open Space and Recreation facilities.
Transportation and Accessibility	2	There is no adverse impact on Transportation and Accessibility services.

Environmental Assessment Factor	Impact Code	Impact Evaluation
NATURAL FEATURES		
Unique Natural Features, Water Resources	2	There is no adverse impact on the Unique Natural Features and Water Resources.
Vegetation, Wildlife	2	There is no adverse impact on Vegetation and Wildlife.
Other Factors	2	State laws and regulations requires all construction activities to go through a permit process.

Additional Studies Performed:

Field Inspection (Date and completed by):

June 16, 2021 by Wilfred Villagomez

List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:

1. Commonwealth Ports Authority (CPA)
2. Division of Coastal Resource Management (DCRM)
3. Bureau of Environmental and Coastal Quality (BECQ)
4. Division of Fish and Wildlife (DFW)
5. Department of Public Works (DPW)
6. Historic and Preservation Office (HPO)
7. Natural Resource Conservation Service (NRCS)
8. CNMI Zoning

List of Permits Obtained:

Selected contractor will be responsible to obtain the permits needed to commence the construction activities of the proposed project.

Public Outreach [24 CFR 50.23 & 58.43]:

The NMHC shall provide publish notice to the local newspaper outlets, NMHC website and social media outlet to review the completed environmental review and allow the public to make comments.

Cumulative Impact Analysis [24 CFR 58.32]:

Per consultation with all environmental permitting agencies there will be no adverse impact in the environment as the construction activities are minimal. The state laws and regulations require all construction contractors to obtain the necessary permits in order to commence any construction activities.

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

None.

No Action Alternative [24 CFR 58.40(e)]:

The NMHC considers a no action alternative because the proposed project is a critical public school that serves 600 students and 47 staff. The island wide schools were damaged and cannot shift students elsewhere as an alternative.

Summary of Findings and Conclusions:

There are no findings of significant impact that will affect environmental issue. Therefore, the rehabilitation for William S. Reyes Elementary School shall proceed as indicated.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure

Determination:

☒ **Finding of No Significant Impact** [24 CFR 58.40(g)(1); 40 CFR 1508.27]

The project will not result in a significant impact on the quality of the human environment.

☐ **Finding of Significant Impact** [24 CFR 58.40(g)(2); 40 CFR 1508.27]

The project may significantly affect the quality of the human environment.

Preparer Signature: Wilfred Villagomez Date: 8/18/21

Name/Title/Organization: Wilfred Villagomez, CDBG-DR Project Supervisor NMHC

Reviewer Signature: Jacob Muna Date: 8/19/21

Reviewed by: Jacob Muna, Office Manager/Procurement Officer, NMHC

Certifying Officer Signature: Jesse S. Palacios Date: 8/19/21

Name/Title: Jesse S. Palacios, Corporate Director

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).



Commonwealth Ports Authority

Francisco C. Ada/Saipan International Airport

PO BOX 501055 • SAIPAN • MP • 96950

Phone: (670) 237-6500/01

Fax: (670) 234-5962

E-Mail Address: cpa.admin@pticom.com

Website: <https://cnmports.com>



June 18, 2021

Mr. Jonathan I. Arriola
DR Project Manager
Northern Marianas Housing Corporation
PO Box 500514
Saipan, MP 96950



**NMHC- CDBG-DR
RECEIVED**

By: 2CA

Date: 06/28/21

Time: 7:45am

Dear Mr. Arriola:

Subject: Request for Determination of Effect

Lot No. 39 H 01 - Marianas High School, Susupe Village, Saipan; Lot No. 004 I 25 - Francisco M. Sablan Middle School, San Antonio, Saipan; Lot No. E.A. 790 - William S. Reyes Elementary School, Chalan Kanoa, Saipan; Lot No. 002 T 49 - Tinian Elementary School, San Jose, Tinian

This is in reference to your letter dated June 16, 2021 requesting for Determination of Effect for the lot numbers referenced above. The projects are the Typhoon Repairs for the Public School System.

After review of the lot locations, we found them to be free from the Runway Protection Zone. As such, the determination of effect is hereby given.

Should you have any questions or require additional information, please feel free to contact us.

Sincerely,

CHRISTOPHER S. TENORIO
Executive Director

cc: file

JA
06/28/2021



Commonwealth of the Northern Mariana Islands
OFFICE OF THE GOVERNOR
Bureau of Environmental and Coastal Quality
Division of Coastal Resources Management
P.O. Box 501304, Saipan, MP 96950
Tel: (670) 664-8300; Fax: (670) 664-8315
www.dcrmm.gov.mp



Eli D. Cabrera
Administrator

Janice E. Castro
Director, DCRM

July 2, 2021

Ref. No. PRM21-212

Jonathan I. Arriola
Project Manager
Community Development Block Grant-
Disaster Recovery Division
Northern Marianas Housing Corporation
P.O. Box 500514
Saipan, MP 96950
Email: cnmi-cdbg-dr@nmhcgov.net

Re: Request for Determination of Effect

Dear Mr. Arriola,

The Division of Coastal Resources Management (DCRM) is in receipt of your letter dated June 6, 2021 requesting for a determination of effect on the proposed typhoon repairs of the Public School System (PSS) school buildings located in four different campuses on Saipan and Tinian. As stated in your letter, the proposed repairs will be funded by the Department of Housing and Urban Development (HUD through the Community Development Block Grant – Disaster Recovery Program (CDBG-DR).

Based on the information provided, DCRM has determined that for Lot No. 001 D 01/02 under Francisco M. Sablan Elementary School in San Antonio, Saipan, is partially situated within DCRM's Shoreline APC and may be subject to a CRM permit. However, the following properties outlined below are not partially or wholly within DCRM's designated Areas of Particular Concern (APCs) and may not be subject to a CRM permit:

- 1) Lot No. 39 H 01, Marianas High School in Susupe, Saipan;
- 2) Lot No. E.A. 790, W.S. Reyes Elementary School, Chalan Kanoa, Saipan; and,
- 3) Lot No. 002 T 49, San Jose Elementary School, San Jose, Tinian.

To the extent these projects will require issuance of a federal license or permit subject to federal consistency review, submission of a consistency determination certifying that issuance of the federal license or permit complies with the enforceable policies of the CNMI Coastal Management Program (CMP) may be necessary.

DCRM does not anticipate that these projects will cause significant public controversy and believes that the public and other agencies will be supportive of these activities. However, given that the projects are or will be federally funded, a One-Start permit from the Division of

Environmental Quality (DEQ) will be required. This application will enable the DEQ, DCRM, the Division of Fish and Wildlife (DFW), and the Historic Preservation Office (HPO) to review your project proposals more thoroughly. Moreover, as these projects will be duly permitted by relevant CNMI agencies, DCRM anticipates that these projects will not conflict with any CNMI environmental, conservation, or land use laws and regulations.

We look forward to continue coordination as NMHC plans and seeks permits for these important improvement projects. Should you have any questions or need assistance, please contact our Permitting Section at (670) 664-8300.

Sincerely,



for JANICE E. CASTRO
Director
Division of Coastal Resources Management



NORTHERN MARIANAS HOUSING CORPORATION

Community Development Block Grant – Disaster Recovery (CDBG-DR) Division

P.O. BOX 500514, Saipan, MP 96950-0514

Email: cnmi-cdbg-dr@nmhcgov.net

Website: <http://www.cnmi-cdbgdr.com>

Tels: (670) 233-9447

233-9448

233-9449

233-9450

Fax: (670) 233-9452

June 16, 2021

Ms. Zabrina Shai
Acting Director
Division of Environmental Quality
P.O. Box 501304
Saipan, MP 96950



Dear Ms. Shai,

The Northern Marianas Housing Corporation (NMHC) Community Development Block Grant-Disaster Recovery Program (CDBG-DR) is in the process of preparing the Environmental Assessment Statutory Checklist (24 CFR § 58.35). NMHC CDBG DR is kindly requesting **concurrence** for the Determination of Effect for the proposed Typhoon Repairs for the Public School System, located on four campuses on Saipan and one on Tinian;

- Marianas High School Lot# 39 H 01, Susupe Village, Saipan.
- Francisco M. Sablan Middle School Lot# 004 I 25 San Antonio Village, Saipan.
- William S. Reyes Elementary School Lot# E.A. 790 Chalan Kanoa Village, Saipan.
- Tinian Elementary School Lot# 002 T 49, San Jose, Tinian.

The proposed project will be funded by the Department of Housing and Urban Development (HUD) through the Community Development Block Grant-Disaster Recovery Program (CDBG-DR).

Before we commence any **Rehabilitation activity** on this lot, we are required to obtain a certification from your office with respect to the following:

1. **Explosive or Flammable Operations:**

That the project is located at an Acceptable Separation Distance (ASD) from any above-ground explosive or flammable fuels or chemicals containers according to "Siting of HUD-Assistance Projects Near Hazardous Facilities" (Appendix F, pp.51-52), **OR** the project will expose neither people nor building to such hazards.

2. **Toxic/Hazardous/Radioactive, Material, Contamination, Chemical or Gases:**



"NMHC is an equal employment and fair housing public agency"

Tinian Field Office
Tel: (670)433-9213
Fax: (670)433-3690

CDBG-DR Office
Tel: (670)233-9447/9448/9449

Rota Field Office
Tel: (670)532-9410
Fax: (670)532-9441



NORTHERN MARIANAS HOUSING CORPORATION

Community Development Block Grant – Disaster Recovery (CDBG-DR) Division

P.O. BOX 500514, Saipan, MP 96950-0514

Email: cnmi-cdbg-dr@nmhcgov.net

Website: <http://www.cnmi-cdbgdr.com>

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233-9448

233-9449

233-9450

Fax: (670) 233-9452

That the project does not involve new development for habitation; **OR** the project involves new development for habitation, but is not located within one mile of an NPL (“Superfund”) site, within ½ mile of a CERCLIS site, nor adjacent to any other known or suspected sited contaminated with toxic chemicals or radioactive source determines it does not pose a health hazard.

3. Environmental Justice:

That the project site is suitable for its proposed use and the project won’t be adversely affected by existing environmental conditions.

4. Sole Source Aquifers:

That the project is not located within an area designed by EPA as being supported by sole source aquifer, **OR** the project need not be referred to EPA for evaluation according to the HUD-EPA (Region IX) Sole Source Aquifer Memorandum of Understanding of 1990.

5. Air Quality:

That the project is located within an “attainment” area, **OR** if within a “non-attainment” area, the project conforms with the EPA-approved State Implementation Plan (SIP), per contact with the State Air Quality Management District or Board.

6. Noise Abatement and Control:

That the project does not involve development of noise sensitive uses, **OR** the project is not within line-of-sight of an arterial roadway or railroad, **OR** ambient noise level is 65 LDN (or CNEL) or less, based upon the HUD Noise Assessment Guidelines (NAG) study for calculating noise levels.

7. Wild and Scenic Rivers:

That the project is not located within a mile of a listed Wild and Scenic River or that it will have no effects on the natural, free flowing or scenic qualities of a river.

8. Wetlands Protection:

That the project does not involve new construction within or adjacent to wetlands, marshes, wet meadows, mud flats or natural ponds per field observation and maps issued by the USDI Fish & Wildlife Service or U.S. Corps of Engineers.

Should your office determine the presence of explosives, flammable, toxic, hazardous, or radioactive materials on or within a mile of the above lot, please include the appropriate mitigation disclosure and clearance documents.



Tinian Field Office
Tel: (670)433-9213
Fax: (670)433-3690

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CDBG-DR Office
Tel: (670)233-9447/9448/9449

Rota Field Office
Tel: (670)532-9410
Fax: (670)532-9441



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Website: <http://www.cnmi-cdbgdr.com>

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233-9448
233-9449
233-9450
Fax: (670) 233-9452

Thank you for your assistance, and we look forward to receiving your earliest response. Should you have any questions regarding this request, please let us know.

Sincerely,

A handwritten signature in blue ink, appearing to read "J. Arriola", is written over a horizontal line.

Jonathan I. Arriola
DR Project Manager

Division of Environmental Quality Concurrence:

Based on your requests above, the CNMI Division of Environmental Quality does not believe that this project will have a significant impact on the environment as defined by the National Environmental Policy Act. Your project may require permits from DEQ or other local or federal agencies, and your responsibility to obtain them is not obviated by this letter.

A handwritten signature in blue ink, appearing to read "Zabrina Shai", is written over a horizontal line.
Zabrina Shai, Acting Director
Division of Environmental Quality

6/25/2021
Date



Tinian Field Office
Tel: (670)433-9213
Fax: (670)433-3690

“NMHC is an equal employment and fair housing public agency”

CDBG-DR Office
Tel: (670)233-9447/9448/9449

Rota Field Office
Tel: (670)532-9410
Fax: (670)532-9441

Division of Environmental Quality Comments

NMHC Request for Determination CNMI PSS		
Public School	Lot Number	Village/ Island
Marianas High School (1972)	Lot # 39 H 01	Susupe Saipan
Francisco M. Sablan Middle School (1969)	Lot # 004 I 25	San Antonio, Saipan
William S. Reyes Elem. School (1965)	Lot # E.A. 790	Chalan Kanoa, Saipan
Tinian Elem. School	Lot # 002 T 49	San Jose, Tinian

Wastewater, Earthmoving, & Erosion Control (WEEC)

Proposed Rehabilitation/Reconstruction:

- Should no grading, filling, or clearing of vegetation commence for the proposed rehabilitation/reconstruction on the existing home, an earthmoving permit will not be required. However, DEQ advises that Best Management Practices (BMP's) are implemented during the construction period.
- Should the proposed rehabilitation/reconstruction activity be conducted on the existing foundation slab/foot print, an earthmoving permit will not be required. However, DEQ advises that Best Management Practices (BMP's) are implemented during the construction period.
- All proposed reconstruction activities shall be required to obtain an Individual Wastewater Disposal System (IWDS) permit. Should there be existing IWDS on the property, the applicant must provide DEQ an As-Built plan of the system.

Note:

All proposed installation of chain-link fence will require a one start permit.

Toxic Waste Management (TWM)

Toxic/Hazardous/ Radioactive, Material, Contamination, Chemical or Gases:

That the project does not involve new development for the habitation; or the project involves new development for habitation, but is not located within one mile of an NPL ("Superfund") site, within ½ mile of a CERCLIS site, nor adjacent to any other known or suspected sited contaminated with toxic chemicals or radioactive source determines it does not pose a health hazard.

TWM Comments:

Completed
6/25/2021

1. All parties pertaining to the rehabilitation/reconstruction project shall cease project activities upon the discovery of any hazardous or unusual substance or objects (e.g., ordnance, old drums, oils, chemicals, etc.) and shall immediately report the discovery to DEQ's Toxic Waste Management Branch. On weekends or holidays and after hours, the permitted shall notify Homeland Security and Emergency Management at 670-237-8000. Failure to immediately report such findings may result in enforcement proceedings and penalties.
 - In the event there are unknown containers, drum containers, with no labeling or unknown contents, found on-site, we recommend PSS to hire an Environmental Professional (EP) that can sample the drums, containers and conduct waste characterization. Also, the EP can properly remove and dispose of hazardous substances, etc. DEQ-TWM shall be informed of such proceedings
2. If the school was constructed before the 1980s, there may be potential for Lead-Based Paint (LBP). In addition, also the concrete walls may or may not have the potential to be ACM (Asbestos-Containing Material). It is required that a Certified Industrial Hygienist (CIH) sample the building before removal/demolition to determine whether there are ACM and LBP.
 - If confirmed for LBP and/or ACM, it is required that the Certified Lead / Asbestos Abatement Workers are the personnel to do the abatement work. In addition, abatement work must be done by certified trained personnel (must have credentials to do LBP/ACM Abatement work). An LBP and/or ACM Abatement Plan is required before the renovation if CIH determines there is a presence of ACM and/or LBP. A plan must be provided to BECQ for review and comment.
3. Removal and Disposal of existing lighting:
 - All **Fluorescent Lamps** and **Tubes** Should Be **Recycled** or Disposed as Hazardous Waste. Prior to disposal, segregation of the existing lighting is a must and shall be covered to prevent exposure to the elements.
 - Ballasts manufactured between 1979 and 1998 that do not contain **PCBs** are labeled "No **PCBs**" If a ballast is not labeled "No **PCBs**", it is best to assume it contains **PCBs**. If the ballast does contain **PCBs**, they are located inside the small capacitor or in the surrounding potting material. All shall be segregated and disposed or recycled properly.



Commonwealth of the Northern Mariana Islands
Division of Fish & Wildlife
Department of Lands and Natural Resources
Lower Base, P.O. Box 10007
Saipan, MP 96950



Telephone: 670-664-6000
Fax: 670-664-6060

June 21, 2021

Jonathan I. Arriola
Project Manager
Northern Marianas Housing Corporation
PO Box 500514
Saipan, MP 96950-0514

Subject: Information Request (#IR-21-20), NMHC Request for a Determination of Effect for Endangered Species

Dear Mr. Arriola:

You requested information from the Division of Fish and Wildlife regarding the potential impacts on threatened and endangered (T&E) species for the proposed Typhoon Repairs for the Public School System, located on 3 campuses on Saipan and 1 on Tinian.

- Marianas High School, Lot # 39 H 01, Susupe, Saipan
- Francisco M. Sablan Middle School, Lot # 044 I 25, San Antonio, Saipan
- William S. Reyes Elementary School, Lot # E.A. 790, Chalan Kanoa, Saipan
- Tinian Elementary School, Lot # 002 T 49, San Jose, Tinian

We have reviewed your information request, including supporting information and maps. Although we did not conduct an on-the-ground inspection of the site, based on our records and the proposed scope of work, we do not anticipate impacts to T&E species from these proposed projects. Our response is based solely on the information you provided, our current knowledge, and professional experience.

This letter is not a permit or approval of the proposed projects. Instead, the information that we provide may assist you in project planning, including information required to comply with the preparation of an Environmental Assessment Statutory Checklist.

If you have any questions, please don't hesitate to contact me at 664-6016.

Sincerely,

Frances G. Sablan
Assistant Wildlife Biologist

Cc: Manny M. Pangelinan, Director, DFW



Commonwealth of the Northern Mariana Islands
Office of the Secretary of Public Works
2nd floor - Oleai Joeten Commercial Center
Saipan, MP 96950



June 22, 2021
Serial No. PW21-0737

Mr. Jonathan I. Arriola
Project Manager
Northern Marianas Housing Corporation
Saipan, MP 96950

Subject: Determination of Special Flood Hazard Area (SFHA)

Dear Mr. Arriola:

This letter is in response to your request received by our office on June 16, 2021 for the determination of Special Flood Hazard Area as a part of a regulatory compliance checklist regarding the proposed typhoon repairs.

After thorough reviews of the Flood Insurance Rate Maps and other source materials, this office has determined that none of the proposed repairs are inside a **Special Flood Hazard Area**. See attached map.

LOT ID.	LOT NUMBER	SFHA	
		YES	NO
Marianas High School, Susupe, Saipan	39 H 01		X
Francisco M. Sablan Middle Sch., San Antonio, Saipan	004 I 25		X
William S. Reyes Elem. Sch., Chalan Kanoa, Saipan	EA. 790		X
Tinian Elem. School, San Jose, Tinian	002 T 49		X

Should you have any questions or concerns, please do not hesitate to contact Mr. Edwin Tmarsel, Flood Administrator of our Building Safety Code Division at the telephone number 234-2726.

Sincerely,


JAMES A. ADA
Secretary of Public Works

cc: Building Safety Code Division

National Flood Hazard Layer FIRMette



145°41'51"E 15°8'50"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AP
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes, Zone X
		Area with Flood Risk due to Levees Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		Cross Sections with 1% Annual Chance Water Surface Elevation
MAP PANELS		Digital Data Available
		No Digital Data Available
MAP PANELS		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 6/21/2023 at 9:50 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Commonwealth of the Northern Mariana Islands
Division of Historic Preservation
Department of Community & Cultural Affairs
Buildings A-15 and A-16 Cactus St. Garapan
Caller Box: 10007
Saipan, MP 96950



July 29, 2021

TEL: 664-2120-25
FAX: 664-2139

Serial: 34576
File: 6.7.21.41

Jonathan I. Arriola
Project Manager
Northern Marianas Housing Corporation
P.O. Box 500514
Saipan, MP 96950

RE: Section 106 Consultation on NMHC's Proposed Schools Rehabilitation Projects at William S. Reyes Elementary School, Francisco Mendiola Sablan Middle School, Tinian Elementary School, and Marianas High School

Dear Mr. Arriola,

Thank you for consulting with the Historic Preservation Office in regards to Section 106 consultation for the above subject school projects located in various locations on;

SAIPAN

1. Chalan Kanoa – (Lot No. E.A. 790)
2. San Antonio – (Lot No. 004 I 25)
3. Susupe – (Lot No. 39 H 01)

TINIAN

1. San Village – (Lot No. 002 T 49)

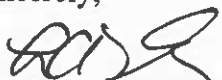
The HPO has reviewed the accompanying documentations you have provided and concurs with NMHC's finding of **No Adverse Effect** determination on this proposed general above ground project undertakings.

However, although the HPO concurred with the finding of No Adverse Effect to historic properties determination, we ask that if the particulars of the project should be altered to include other areas not yet designated, primarily on work scope requiring any ground disturbances within

these general areas, then we ask please to give our office an opportunity to review and consult about potential impacts in those currently unforeseen areas.

If there are any questions or comments you may have, please feel free to reach out to HPO at (670) 664-2120.


Sincerely,

A handwritten signature in black ink, appearing to read 'Rita C. Chong Dela Cruz', written over the printed name.

Rita C. Chong Dela Cruz
State Historic Preservation Officer

U.S. Department of Agriculture

FARMLAND CONVERSION IMPACT RATING

PART I (To be completed by Federal Agency)		Date Of Land Evaluation Request			
Name of Project William S. Reyes Elementary School		Federal Agency Involved NMHC-HUD-CDBGR-DR			
Proposed Land Use Typhoon repairs for PSS Lot# EA 790		County and State Chalan Kanoa, Saipan			
PART II (To be completed by NRCS)		Date Request Received By NRCS 17 June 2021		Person Completing Form: S. Takai	
Does the site contain Prime, Unique, Statewide or Local Important Farmland? (If no, the FPPA does not apply - do not complete additional parts of this form)		YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		Acres Irrigated	
				Average Farm Size	
Major Crop(s)	Farmable Land in Govt. Jurisdiction Acres: %	Amount of Farmland As Defined in FPPA Acres: %			
Name of Land Evaluation System Used	Name of State or Local Site Assessment System	Date Land Evaluation Returned by NRCS			
PART III (To be completed by Federal Agency)		Alternative Site Rating			
		Site A	Site B	Site C	Site D
A. Total Acres To Be Converted Directly		N/A			
B. Total Acres To Be Converted Indirectly					
C. Total Acres in Site					
PART IV (To be completed by NRCS) Land Evaluation Information					
A. Total Acres Prime And Unique Farmland					
B. Total Acres Statewide Important or Local Important Farmland					
C. Percentage Of Farmland in County Or Local Govt. Unit To Be Converted					
D. Percentage Of Farmland in Govt. Jurisdiction With Same Or Higher Relative Value					
PART V (To be completed by NRCS) Land Evaluation Criterion Relative Value of Farmland To Be Converted (Scale of 0 to 100 Points)					
PART VI (To be completed by Federal Agency) Site Assessment Criteria (Criteria are explained in 7 CFR 658.5 b. For Corridor project use form NRCS-CPA-106)	Maximum Points	Site A	Site B	Site C	Site D
1. Area In Non-urban Use	(15)				
2. Perimeter In Non-urban Use	(10)				
3. Percent Of Site Being Farmed	(20)				
4. Protection Provided By State and Local Government	(20)				
5. Distance From Urban Built-up Area	(15)				
6. Distance To Urban Support Services	(15)				
7. Size Of Present Farm Unit Compared To Average	(10)				
8. Creation Of Non-farmable Farmland	(10)				
9. Availability Of Farm Support Services	(5)				
10. On-Farm Investments	(20)				
11. Effects Of Conversion On Farm Support Services	(10)				
12. Competibility With Existing Agricultural Use	(10)				
TOTAL SITE ASSESSMENT POINTS	160	0	0	0	0
PART VII (To be completed by Federal Agency)					
Relative Value Of Farmland (From Part V)	100	0	0	0	0
Total Site Assessment (From Part VI above or local site assessment)	160	0	0	0	0
TOTAL POINTS (Total of above 2 lines)	260	0	0	0	0
Site Selected:		Date Of Selection		Was A Local Site Assessment Used?	
				YES <input type="checkbox"/> NO <input type="checkbox"/>	
Reason For Selection:					
					
Name of Federal agency representative completing this form: Pamela M. Sablan, District Conservationist Date: 22 JUN 2021					
(See Instructions on reverse side)					



Wilfred Villagomez <projectsupervisor@nmhcgov.net>

Request for Determination Responses to FPPA Request Delivered on 06/17/2021

1 message

Sablan, Pamela - NRCS, Saipan, MP <pamela.sablan@usda.gov>
To: "Jonathan I. Arriola" <drprojectmanager@nmhcgov.net>
Cc: Wilfred Villagomez <projectsupervisor@nmhcgov.net>

Tue, Jun 22, 2021 at 4:40 PM

Hafa Adai Mr. Sablan:

Please see completed and signed forms along with the maps. No impact or Adverse Effect on these properties.

Thank you.

Pamela M. Sablan - District Conservationist

USDA-NRCS-CNMI Saipan Field Office*D.Y. Building Beach Road South Garapan**P.O. Box 5082 CHRB, Saipan, MP 96950-5082**T: (670) 233-3415 ext. 103, C: (670) 287-0804*

The Saipan USDA Field Office is open for business, including limited in person visits by appointment only. All visitors wishing to conduct business with the Natural Resources Conservation Service agency should call the Field Office at (670) 233-3415 for an appointment.

Please visit farmers.gov/coronavirus for the latest information on Service Center status.

This electronic message contains information generated by the USDA solely for the intended recipients. Any unauthorized interception of this message or the use or disclosure of the information it contains may violate the law and subject the violator to civil or criminal penalties. If you believe you have received this message in error, please notify the sender and delete the email immediately.

Response to NMHC_FPPA Request_Recvd 17Jun2021.pdf
898K




NORTHERN MARIANAS HOUSING CORPORATION
Community Development Block Grant – Disaster Recovery (CDBG-DR) Division
P.O. BOX 500514, Saipan, MP 96950-0514
Email: cnmi-cdbg-dr@nmhc.gov.net
Website: <http://www.cnmi-cdbgdr.com>

Tels: (670) 233-9447
233-9448
233-9449
233-9450
Fax: (670) 233-9452

June 28, 2021

Ms. Geralyn C. Delacruz
Zoning Administrator
Zoning Board
Caller Box 10007
Saipan, MP 96950

	Rec'd By: <u><i>[Signature]</i></u>
	Date: <u>6/29/21</u>
	Time: <u>11:07am</u>

Re: Request for Zoning Certification

Dear Ms. Delacruz,

The Northern Marianas Housing Corporation (NMHC) is in the process of preparing the Environmental Assessment Statutory Checklist (24 CFR § 58.35) for the proposed Typhoon Repairs for the Public School System, located on four campuses on Saipan and one on Tinian;

- Marianas High School Lot# 39 H 01, Susupe Village, Saipan.
- Francisco M. Sablan Middle School Lot# 004 I 25 San Antonio Village, Saipan.
- William S. Reyes Elementary School Lot# E.A. 790 Chalan Kanoa Village, Saipan.
- Tinian Elementary School Lot# 002 T 49, San Jose, Tinian.

The proposed project will be funded by the Department of Housing and Urban Development (HUD) through the Community Development Block Grant-Disaster Recovery Program (CDBG-DR).

NMHC is kindly requesting for your concurrence in certifying that the project is acceptable based on the Zoning Law. This concurrence will not constitute as approval for a permit.

If you have any questions or concerns, please do not hesitate to contact myself at drprojectmanager@nmhc.gov.net or Mr. Wilfred Villagomez at projectsupervisor@nmhc.gov.net or at the numbers listed above.

Sincerely,


Jonathan L. Arriola
Project Manager



"NMHC is an equal employment and fair housing public agency"

Tinian Field Office
Tel: (670)433-9213
Fax: (670)433-3690

CDBG-DR Office
Tel: (670)233-9447/9448/9449

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NORTHERN MARIANAS HOUSING CORPORATION
Community Development Block Grant - Disaster Recovery (CDBG-DR) Division
P.O. BOX 500514, Saipan, MP 96950-0514
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Tels: (670) 233-9447
233-9448
233-9449
233-9450
Fax: (670) 233-9452

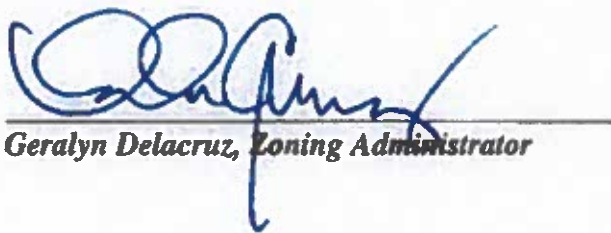
Enclosures: Map of Location
Scope of Work

(Zoning Use)

This certification is granted to the Northern Marianas Housing Corporation (NMHC) to proceed with their project based on Section 404 and Section 411(f) (citation) of the Saipan Zoning Law.

This certification will not constitute as an approval for a permit. The NMHC and/or Contractor must apply for a permit prior to any construction work. If the NMHC and/or Contractor fails to apply for a Zoning permit, the Zoning Office will issue a violation notice and impose fines for failure to abide by the Zoning Law.

Certified & Concurred by:



Geraldyn Delacruz, Zoning Administrator

6/29/2021

Date



Tinian Field Office
Tel: (670)433-9213
Fax: (670)433-3690

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Tel: (670)532-9410
Fax: (670)532-9441



WJR
LOT# E.A. 790

PA-09-MP-4404-PW-00176(0) P	
Applicant Name:	Application Title:
PUBLIC SCHOOL SYSTEM - CNMI	103487 - William S. Reyes Elementary School PAAP 428 Au
Period of Performance Start:	Period of Performance End:
10-26-2018	04-26-2020

Bundle Reference # (Amendment #)	Date Awarded
PA-09-MP-4404-PW-00176(167)	03-12-2020

Subgrant Application - FEMA Form 90-91

Note: The Effective Cost Share for this application is 90%

FEDERAL EMERGENCY MANAGEMENT AGENCY PROJECT WORKSHEET					
DISASTER		PROJECT NO.	PA ID NO.	DATE	CATEGORY
FEMA	4404 - DR -MP	103487	000-UVR1C-00	09-26-2019	E
APPLICANT: PUBLIC SCHOOL SYSTEM - CNMI				WORK COMPLETE AS OF:	
				09-26-2019 : 0 %	
Site 1 of 1					
DAMAGED FACILITY:				COUNTY: Saipan	
Damage #304333; William S. Reyes Elementary School - Auditorium					
LOCATION:				LATITUDE:	LONGITUDE:
PA-09-MP-4404-PW-00176(0): William S. Reyes Elementary School				15.14174	145.70338
Current Version:					
DAMAGE DESCRIPTION AND DIMENSIONS:					
PA-09-MP-4404-PW-00176(0): The Disaster #4404DR, which occurred between 10/24/2018 and 10/26/2018, caused					
Damage #304333; William S. Reyes Elementary School - Auditorium					
General Facility Information:					
Facility Type: Building					
Building Type: School (Elementary)					
Facility: William S. Reyes Elementary School					
Facility Description: Auditorium					
Approx. Year Built: 1965					
GPS Latitude/Longitude: 15 14174, 145.70338					
Number of Stories: 1					
General Damage Information:					
Date Damaged: 10/24/2018 to 10/26/2018					
Cause of Damage: Typhoon Yutu 200 + Wind, Wind blown debris and Wind driven rain					
Building Damage:					
Auditorium (50% Rule Replacement) :					
Building Exterior, 11,700 SF of Steel (100% total loss), 180 FT long x 65 FT wide, 201 MPH + Typhoon Force Winds, 0% work completed					
Current Version:					

SCOPE OF WORK:

PA-09-MP-4404-PW-00176(0):

SCOPE TO RESTORE TO PRE-DISASTER CONDITIONS

304333 William S. Reyes Elementary School - Auditorium

50 Percent Rule

This project was evaluated for replacement under the '50% Rule' and found to be eligible (See Scope Note 1): Allowable repair \$796,717.60 / Allowable replacement \$1,039,230.53 = 76.7%.

Repair Estimate: Work to be Completed SOW

The applicant will utilize contracts to restore this facility back to its pre-disaster design, function, and capacity within the existing footprint.

Auditorium

A. Remove and replace 11,700 SF of steel building

Work to be Completed total: \$796,717.60

50% Rule Evaluation: Allowable repair \$796,717.60 / Allowable replacement \$1,039,230.53 = 76.7%

Replacement Estimate: Work to be Completed SOW

The following SOW reflects the work elements for full replacement of an in-kind building.

- A. Demo a 11,700 SF building
- B. Install a 11,700 SF new slab on grade
- C. Install 11,700 SF wood roof trusses
- D. Install 11,700 SF steel roofing
- E. Install 4,900 SF CMU wall
- F. Install all Mechanical/HVAC Equipment (exterior/interior) as required for 11,700 SF building
- G. Install all electrical outlets, light switches, electrical panel, sub panel, and disconnects
- H. Install all required plumbing for sinks and water heater fixture throughout structure
- I. Install 11,700 SF exterior/interior Doors throughout building as required by code
- J. Install 11,700 SF windows, aluminum, awning, insulated glass, 4'-5" x 5'-3"
- K. Install Communication, Electronic Safety & Security System
- L. Install Smoke/Fire Alarm System.

Replacement Cost: \$1,039,230.53

Total Replacement Cost: \$1,798,938.93

CEF used to validate Applicant cost of \$1,798,938.93

Scope notes:

1. Costing was prepared using an RS Means repair estimate and replacement cost value to assess this project for overall replacement. The Repair cost was determined to be 76.7 percent of the replacement value; therefore, this project has been written based on the full replacement cost of \$1,039,230.53 and validated to Applicant's estimate of \$1,798,938.93.
2. The applicant is seeking mitigation for this facility. For mitigation purposes, the costing specialist has captured the base replacement costs in this project.

Project Notes:

1. All site estimates for work to be completed were generated using RS means and online resources. In addition, some site estimates for work to be completed were generated using the Applicant provided cost(s) and these costs were reviewed using RS means and online resources and has been found reasonable. See attachments labeled 4404 #103487 Auditorium Building Cost Estimate @ WRS Campus 428 and SP103487 - CEF Validation.
2. All procurement documents attached have been reviewed. See attached document labeled CNMI PSS Procurement Policy.
3. This project has met the large project threshold. Therefore, a CEF was conducted and used for validation purposes, to validate Applicant's estimate. See attached document labeled SP103487 - CEF Validation.
4. Because this project meets the large project threshold, final costs will be based on actual expenses.

5. This initial version of the Subgrant Application has been prepared to document disaster damages to an eligible facility, develop a reasonable scope of work to return the facility to its pre-disaster design, function, and capacity, and agree upon a reasonable cost estimate. The scope of work described in this version of the Subgrant Application will not be implemented, and an Improved or Alternate Project version is forthcoming. The Improved or Alternate Project scope of work will require resubmission for review in accordance with Federal Environmental and Historic Preservation (EHP) laws and Executive Orders prior to the initiation of any work.

The Improved or Alternate Project version should include any plans for the removal and disposal of the original eligible facility or to render it safe and secure, including information regarding the use of FEMA funding at the original eligible facility. Should the Sub-recipient decide to repair the disaster-damaged facility and implement the scope of work in this initial version, the Subgrant Application must be resubmitted for review in accordance with Federal EHP laws and Executive Orders prior to the initiation of any work.

INTENDED SCOPE

304333 William S. Reyes Elementary School - Auditorium

50 Percent Rule

This project was evaluated for replacement under the "50% Rule" and found to be eligible (See Scope Note 1): Allowable repair \$796,717.60 / Allowable replacement \$1,039,230.53 = 76.7%.

Repair Estimate: Work to be Completed SOW

The applicant will utilize contracts to restore this facility back to its pre-disaster design, function, and capacity within the existing footprint.

Auditorium

A. Remove and replace 11,700 SF of steel building.

Work to be Completed total: \$796,717.60

50% Rule Evaluation: Allowable repair \$796,717.60 / Allowable replacement \$1,039,230.53 = 76.7%.

Replacement Estimate: Work to be Completed SOW

The following SOW reflects the work elements for full replacement of an in-kind building.

- A. Demo a 11,700 SF building
- B. Install a 11,700 SF new slab on grade
- C. Install 11,700 SF wood roof trusses
- D. Install 11,700 SF steel roofing
- E. Install 4,900 SF CMU wall
- F. Install all Mechanical/HVAC Equipment (exterior/interior) as required for 11,700 SF building
- G. Install all electrical outlets, light switches, electrical panel, sub panel, and disconnects
- H. Install all required plumbing for sinks and water heater fixture throughout structure
- I. Install 11,700 SF exterior/interior Doors throughout building as required by code
- J. Install 11,700 SF windows, aluminum, awning, insulated glass, 4'-5" x 5'-3"
- K. Install Communication, Electronic Safety & Security System
- L. Install Smoke/Fire Alarm System.

Replacement Cost: \$1,039,230.53

Total Replacement Cost: \$1,798,938.93

CEF used to validate Applicant estimate of \$1,798,938.93

Scope notes:

1. Costing was prepared using an RS Means repair estimate and replacement cost value to assess this project for overall replacement. The Repair cost was determined to be 76.7 percent of the replacement value; therefore, this project has been written based on the full replacement cost of \$1,039,230.53, with Applicant estimate validation of \$1,798,938.93

2. The applicant is seeking mitigation for this facility. For mitigation purposes, the costing specialist has captured the base replacement costs in this project.

Project Notes:

1. All site estimates for work to be completed were generated using RS means and online resources. In addition, some site estimates for work to be completed were generated using the Applicant provided cost(s) and these costs were reviewed using RS means and online resources and has been found reasonable. See attachments labeled 4404 #103487 Auditorium Building Cost Estimate @ WRS Campus 428

and SP103487 – CEF Validation.

2 All procurement documents attached have been reviewed See attached document labeled CNMI PSS Procurement Policy

3 This project has met the large project threshold. Therefore, a CEF was conducted and used for validation purposes of the Applicant's estimate See attached document labeled SP103487 – CEF Validation.

4 Because this project meets the large project threshold, final costs will be based on actual expenses.

5 This initial version of the Subgrant Application has been prepared to document disaster damages to an eligible facility, develop a reasonable scope of work to return the facility to its pre-disaster design, function, and capacity, and agree upon a reasonable cost estimate. The scope of work described in this version of the Subgrant Application will not be implemented, and an Improved or Alternate Project version is forthcoming. The Improved or Alternate Project scope of work will require resubmission for review in accordance with Federal Environmental and Historic Preservation (EHP) laws and Executive Orders prior to the initiation of any work.

The Improved or Alternate Project version should include any plans for the removal and disposal of the original eligible facility or to render it safe and secure, including information regarding the use of FEMA funding at the original, eligible facility. Should the Sub-recipient decide to repair the disaster-damaged facility and implement the scope of work in this initial version, the Subgrant Application must be resubmitted for review in accordance with Federal EHP laws and Executive Orders prior to the initiation of any work.

Current Version:

Does the Scope of Work change the pre-disaster conditions at the site? Yes ☒ No

Special Considerations included? ☒ Yes No

Hazard Mitigation proposal included? Yes ☒ No

Is there insurance coverage on this facility? Yes ☒ No

PROJECT COST

ITEM	CODE	NARRATIVE	QUANTITY/UNIT	UNIT PRICE	COST
		*** Version 0 ***			
		Work Completed			
1	9201	PAAP Fixed Estimate (no value, tracking purposes only)	1/LS	\$ 0.00	\$ 0.00
		Work To Be Completed			
2	9001	Contract	1/LS	\$ 1,798,938.93	\$ 1,798,938.93
				TOTAL COST	\$ 1,798,938.93
PREPARED BY Karen L. Schieberl		TITLE PDMG	SIGNATURE		
APPLICANT REP. Glenn Muna		TITLE Interim Commissioner of Education	SIGNATURE		

[View Application](#)

From: Conaway, Tyler
To: Camacho Jr, Luis; GARY.TUBACH@FEMA.DHS.GOV
Cc: Reinart, Rollin; Newson, Timeka; McGaffey, Ethan; Hamideh, Tamara; Herriott, Steven
Subject: EHP Rework Initiated - 4404DR-MP-CNMI Public School System- GM77519/00177 William S. Reyes Elementary School
Date: Wednesday, September 23, 2020 11:00:00 AM
Attachments: image002.png

Hello Luis and Gary,

A request for additional information for the subject project was sent on 9/18/2020. The RFI was not satisfied. EHP is, therefore, reworking this project back to the CRC to initiate a formal RFI in Grants Manager. See below for the still outstanding RFI question:

- What is the date of construction for the water pump room?

EHP compliance review will begin once the information is received and deemed sufficient to satisfy the RFI. Please "Reply All" to this email when corresponding about the required information. Additional questions may be necessary depending on the response to the RFI.

If the information is not received or is insufficient, EHP will be unable to complete review of this project and unable to determine compliance.

Tyler Conaway
Environmental Protection Specialist | FEMA EHP | DHS
Office/Mobile: (202) 704-5467
tyler.m.conaway@fema.dhs.gov

Federal Emergency Management Agency
[fema.gov](https://www.fema.gov)



FEMA

RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-09-MP-4404-PW-00177

Title: 77519 - Wilam S. Reyes Elementary School

NEPA DETERMINATION

Non Compliant Flag: No	EA Draft Date:	EA Final Date:
EA Public Notice Date:	EA Fonnal	Level: STATEX
EIS Notice of Intent	EIS ROD Date:	
Comment CAT E, 0% complete, CNMI Public School Systems, Saipan, CNMI (15.14174, 145.70338).		

Utilize force account resources or contracted services for the repair of Buildings B, D, E, F, G, I, the cafeteria, the maintenance building, and the basketball court; and reconstruction of campus-wide walkways, chain-link fencing and gates, the canteen building, and the water pump room at the William S. Reyes Elementary School. Specific repairs for Building B will include: a structural inspection; replacing gypsum board ceiling, floor tiles, electrical outlets, and light fixtures; prepping and painting interior walls. Specific repairs at Building D include removing and replacing roofing, metal ridge caps, tile flooring, and ceiling tiles. Specific repairs at Building E removing and replacing metal roofing, metal ridge caps, decking boards, ceiling tile, windows, and light fixtures. Specific repairs at Building F include removing and replacing metal roofing, roof decking, the gutter system, tile flooring, electrical fixtures, light fixtures, a suspended acoustic ceiling system, exterior floodlights, video surveillance cameras, and glass doors. The interior and partitioned walls will also be cleaned, disinfected, and repainted at the building. Specific repairs at the G include removing and replacing a bathroom door and metal bar window guards. Specific repairs at Building I include cleaning and prepping interior walls and exterior siding; removing and replacing metal roofing, the gutter system, a weather head and its components, cement siding on soffits and exterior walls, light fixtures, ceiling tiles and boards, doors, windows, hurricane shutters, floodlights, air conditioning units, and high vinyl resilient base. The covered walkway for the building will be completely replaced. Specific repairs for the cafeteria building include a structural inspection and removing and replacing ceiling tiles and tile flooring. Air conditioning units will be replaced throughout the campus of the school. Specific repairs for the maintenance building include removing and replacing corrugated metal roofing and damaged components of the roof truss framing. Specific repairs at the basketball court include removing and replacing a backboard and bleachers. Campus-wide free-standing covered walkways, chain link fences and gates, the Canteen Building, and the Water Pump Room, will all be demolished and replaced conforming with the pre-disaster design function, and capacity of the original structures. No mitigation is proposed for this project.

This project has been determined to be Statutorily Excluded from NEPA review in accordance with Section 316 of the Stafford Act. Particular attention should be given to the project conditions before and during project implementation. Failure to comply with these conditions may jeopardize federal assistance including funding.

- toonawa1 - 08/27/2020 19:48:31 GMT

CATEX CATEGORIES

Catex Category Code	Description	Selected
	No Catex Categories were selected	

EXTRAORDINARY

Extraordinary Circumstance Code	Description	Selected ?
	No Extraordinary Circumstances were selected	

ENVIRONMENTAL LAW / EXECUTIVE ORDER

RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-09-MP-4404-PW-00177

Title: 77519 - William S. Reyes Elementary School

Environmental Law/ Executive Order	Status	Description	Comment
Clean Air Act (CAA)	Completed	Project is located in an attainment area - Review concluded	CNMI has no non-attainment areas for any criteria pollutant. The SOW associated with this PW is exempt from a conformity determination under the General Conformity Rule. - tconawa1 - 08/27/2020 19:57:15 GMT
Coastal Barrier Resources Act (CBRA)	Completed	Project is not on or connected to CBRA Unit or otherwise protected area - Review concluded	
Clean Water Act (CWA)	Completed	Project would not affect any water of the U.S. - Review concluded	
Coastal Zone Management Act (CZMA)	Completed	Project is located in a coastal zone area and/or affects the coastal zone	See Conditions. - tconawa1 - 08/27/2020 19:56:26 GMT
	Completed	State administering agency does not require consistency review - Review concluded	
Executive Order 11988 - Floodplains	Completed	No effect on floodplain/flood levels and project outside floodplain - Review concluded	Per Flood Insurance Rate Map (FIRM) panel 6900000045C, dated 4/3/2006, the project is located outside the Special Flood Hazard Area (100-year floodplain, base floodplain) and the activity does not adversely affect floodplain values. - tconawa1 - 08/27/2020 19:59:22 GMT
Executive Order 11990 - Wetlands	Completed	No effects on wetlands and project outside wetlands - Review concluded	Per the U.S./ Fish and Wildlife Service Wetland Mapper viewed on 8/26/2020, the project is located outside of wetlands and not likely to result in any potential direct impacts that will adversely affect wetlands. - tconawa1 - 08/27/2020 19:59:35 GMT
Executive Order 12898 - Environmental Justice for Low Income and Minority Populations	Completed	Low income or minority population in or near project area	The Undertakings associated with this project will result in a beneficial impact to all populations. - tconawa1 - 08/27/2020 20:00:25 GMT
	Completed	No disproportionately high and adverse impact on low income or minority population - Review concluded	
Endangered Species Act (ESA)	Completed	Listed species and/or designated critical habitat present in areas affected directly or indirectly by the federal action	The proposed project will not destroy or adversely modify suitable habitat and will not affect any other listed or proposed species under the jurisdiction of the US Fish and Wildlife Service or the National Marine Fisheries Service (the Services). It is therefore determined the proposed project would have <u>no effect</u> on listed species and consultation with the Services under Section 7 of the Endangered Species Act is not required. See attached No Effect

RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-09-MP-4404-PW-00177

Title: 77519 - William S. Reyes Elementary School

Environmental Law/ Executive Order	Status	Description	Comment
			Determination. - tconawa1 - 08/27/2020 19:52:20 GMT
	Completed	No effect to species or designated critical habitat (See comments for justification) - Review concluded	
Farmland Protection Policy Act (FPPA)	Completed	Project does not affect designated prime or unique farmland - Review concluded	
Fish and Wildlife Coordination Act (FWCA)	Completed	Project does not affect, control, or modify a waterway/body of water - Review concluded	
Migratory Bird Treaty Act (MBTA)	Completed	Project located within a flyway zone	The project is located in the West Pacific Flyway. However, based on the nature of activities, the SOW associated with this PW does not have the potential to take migratory birds. - tconawa1 - 08/27/2020 19:58:44 GMT
	Completed	Project does not have potential to take migratory birds - Review concluded	
Magnuson-Stevens Fishery Conservation and Management Act (MSA)	Completed	Project not located in or near Essential Fish Habitat - Review concluded	
National Historic Preservation Act (NHPA)	Completed	Applicable executed Programmatic Agreement (enter date in comments)	The Undertaking was reviewed by Cindy Thomack, who meets the applicable Secretary's Professional Qualification in accordance with Stipulation I.B.1.a of the Programmatic Agreement among FEMA, CNMI SHPO, and CNMI HSEM (September 1, 2015). The Undertaking complies with Tier II Programmatic Allowance II.A.2(b) (In-kind repair, replacements, and minor upgrades to landscaping elements). II.B.1(a) (In-kind repair and replacement of floors, walls, stairs, ceilings) II.B.3(a) (In-kind repair or replacement, or limited upgrading of interior utility systems including lighting), II.B.3(d) II.B.4(a) (In-kind repair or replacement of damaged or severely deteriorated windows and window frames, shutters, storm shutters, doors and door frames) II.B.8(b) (In-kind repair, replacement, or strengthening of roofing, rafters, fascia, soffits, gutters, verge boards, leader boxes, downspouts, or other damaged roof system components) II.B.11(a) (Activities related to the elevation, demolition and/or reconstruction of buildings or structures less than 45 years of age) (Appendix B) of the Agreement. The Undertaking also complies with Tier 1 Programmatic Allowance I.B.1

RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-09-MP-4404-PW-00177

Title: 77519 - William S. Reyes Elementary School

Environmental Law/ Executive Order	Status	Description	Comment
			(Repair or retrofit of buildings and structures less than 45 years old) (Appendix B) of the Agreement. Thus, the Undertaking does not require SHPO review or notification per Stipulation II A.1 of the Agreement. See conditions. - tconawa1 - 10/02/2020 01:17:38 GMT***ABOVE COMMENT IS VOID AND NO LONGER APPLICABLE***FEMA consulted with the State Historic Preservation Officer (SHPO) on 10/5/2020 and made a finding of no historic properties affected in accordance with Stipulation II.C of the Programmatic Agreement among the Federal Emergency Management Agency (FEMA), State Historic Preservation Office (SHPO), and CNMI Office of Homeland Security and Emergency Management (signed September 2, 2015). SHPO has provided no objection to the determination of no historic properties affected and Section 106 Review is concluded in accordance with Stipulation II.C.4.d of the Programmatic Agreement. - tconawa1 - 02/03/2021 23:41:33 GMTSee conditions and attached letters - tconawa1 - 02/03/2021 23:49:39 GMT
	Completed	Building or structure 50 years or older or listed on the National Register in the project area and activity not exempt from review	
	Completed	Determination of No Historic Properties Affected (FEMA finding/SHPO/THPO concurrence attached) - Review concluded	
	Completed	Project affects only previously disturbed ground - Review concluded	
Resource Conservation and Recovery Act, aka Solid Waste Disposal Act (RCRA)	Completed	Review concluded	See conditions. - tconawa1 - 02/03/2021 23:28:07 GMT
Wild and Scenic Rivers Act (WSR)	Completed	Project is not along and does not affect Wild and Scenic River - Review concluded	

CONDITIONS

Special Conditions required on Implementation of Projects:

02:08:32

RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-09-MP-4404-PW-00177

Title: 77519 - William S. Reyes Elementary School

The applicant is responsible for contacting the CNMI Bureau of Environmental and Coastal Quality to determine if any necessary coastal permitting and Federal Consistency Certification is required.

Source of condition: Coastal Zone Management Act (CZMA)

Monitoring Required: No

All other debris, including but not limited to: construction and demolition debris, household items, exposed sandbags, sand, mud, silt, gravel, rocks, boulders, vehicle wreckage, and hazardous materials including electrical transformers must be taken to an appropriately licensed/permited landfill, waste facility or spoil site.

Source of condition: National Historic Preservation Act (NHPA)

Monitoring Required: Yes

If any asbestos containing materials, lead-based paint or items contaminated with these products, are known to be present and/or found during repair activities, the Sub-Grantee must comply with all Federal, State and Local abatement, disposal and reporting requirements under National Emission Standard for Hazardous Air Pollutants (NESHAP).

Source of condition: Resource Conservation and Recovery Act, aka Solid Waste Disposal Act (RCRA)

Monitoring Required: Yes

Standard Conditions:

Any change to the approved scope of work will require re-evaluation for compliance with NEPA and other Laws and Executive Orders.

This review does not address all federal, state and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state and local environmental permits and clearances may jeopardize federal funding.

If ground disturbing activities occur during construction, applicant will monitor ground disturbance and if any potential archeological resources are discovered, will immediately cease construction in that area and notify the State and FEMA.

No Effect Determination Form for FEMA-Funded Projects
in California, Nevada, Arizona, and Hawaii
Review for Compliance with Endangered Species Act (ESA) and
Magnuson-Stevens Fishery Conservation and Management Act (MSA)

No Effect Determination Form for FEMA-Funded Projects in CA, NV, AZ, and HI
Review for ESA and MSA Compliance

Instructions:

Instructional text is included in each cell. Text in brackets and red text provides examples. Once you have completed this form, convert it into a PDF document to be attached to ESA and MSA law reviews in EMIS.

If the proposed project is under another Federal agency's jurisdiction (e.g., U.S. Forest Service, National Park Service, Bureau of Land Management, Bureau of Reclamation, etc.) or another Federal agency is functioning as the Lead Federal Agency (e.g., U.S. Army Corps of Engineers), then there is no need to prepare this No Effect form for FEMA.

This form only applies to projects with a No Effect determination on federally listed species and/or Critical Habitat. If a No Effect determination cannot be made, proceed with the preparation of a Biological Assessment or a Not Likely to Adversely Affect Report for a formal or informal consultation, respectively, under Section 7 of the ESA on the proposed project.

Definitions:

Action Area: is defined as all areas to be affected directly or indirectly by the Federal action and not merely the immediate area involved in the action (50 CFR §402.02).

Essential Fish Habitat (EFH): is defined as waters and substrate necessary to complete the life cycle of species managed under a federal Fishery Management Plan. There is no EFH in Nevada and Arizona, therefore, EFH in this form is only applicable to projects in California and Hawaii.

Federally listed species: In this form, this term includes species listed or proposed to be listed as threatened or endangered under the ESA. This term does not include Candidate species, which are not legally protected under the ESA.

Physical and Biological Features (PBFs): Per 81 FR 7414, the PBFs are essential features to the conservation of the species and may require special management considerations or protection. PBFs were previously known as Primary Constituent Elements (PCEs) and are defined in the Federal Register for each species Critical Habitat designation.

Reviewer's Name and Date of Review:

Tyler Conaway 8/26/20

Disaster (DR) Number and Public Assistance (PA) Project Worksheet (PW) # or Hazard Mitigation Grant Program (HMGP) Grant Application #. For other FEMA Programs, include the grant number.

PA-09-MP-4404-PW-00177

Reference Number (letter code + numbers in PW, if applicable):

77519

Project Name:

William S. Reyes Elementary School

Subrecipient or Recipient:

CNMI Public School System

Location:

Saipan, CNMI (15.14174, 145.70338).

Description of Damage:

Typhoon Yutu 200 MPH + winds, and wind driven rain caused sever damage to school facilities

Description of Proposed Project:

Utilize force account resources or contracted services for the repair of Buildings B, D, E, F, G, I, the cafeteria, the maintenance building, and the basketball court; and reconstruction of campus-wide walkways, chain-link fencing and gates, the canteen building, and the water pump room at the William S. Reyes Elementary School. Specific repairs for Building B will include: a structural inspection; replacing gypsum board ceiling, floor tiles, electrical outlets, and light fixtures; prepping and painting interior walls. Specific repairs at Building D include removing and replacing roofing, metal ridge caps, tile flooring, and ceiling tiles. Specific repairs at Building E removing and replacing metal roofing, metal ridge caps, decking boards, ceiling tile, windows, and light fixtures. Specific repairs at Building F include removing and replacing metal roofing, roof decking, the gutter system, tile flooring, electrical fixtures, light fixtures, a suspended acoustic ceiling system, exterior floodlights, video surveillance cameras, and glass doors. The interior and partitioned walls will also be cleaned, disinfected, and repainted at the building. Specific repairs at the G include removing and replacing a bathroom door and metal bar window guards. Specific repairs at Building I include cleaning and prepping interior walls and exterior siding; removing and replacing metal roofing, the gutter system, a weather head and its components, cement siding on soffits and exterior walls, light fixtures, ceiling tiles and boards, doors, windows, hurricane shutters, floodlights, air conditioning units, and high vinyl resilient base. The covered walkway for the building will be completely replaced. Specific repairs for the cafeteria building include a structural inspection and removing and replacing ceiling tiles and tile flooring. Air conditioning units will be replaced throughout the campus of the school. Specific repairs for the maintenance building include removing and replacing corrugated metal roofing and damaged components of the roof truss framing. Specific repairs at the basketball court include removing and replacing a backboard and bleachers. Campus-wide free-standing covered walkways, chain link fences and gates, the Canteen Building, and the Water Pump Room, will all be demolished and replaced conforming with the pre-disaster design function, and capacity of the original structures. No mitigation is proposed for this project.

Based on the type of activities described in the scope of work (e.g., administrative, staff services, procurement of supplies or equipment, etc.), the proposed project would not result in any direct or indirect effects to any federally listed species, Critical Habitat, and EFH. Note: in this form, EFH only applies to California and Hawaii. Does this statement apply to the proposed project?

☐ **YES.** A No Effect determination applies to the proposed project, and no consultation with the U.S. Fish and Wildlife Service (USFWS) and National Marine Fisheries Service (NMFS) is required under the ESA. **Please provide a summary of the No Effect determination in this cell. Then stop here. Review concluded.**

☒ **NO.** Continue to fill out this form.

No Effect Determination Form for FEMA-Funded Projects in CA, NV, AZ, and HI
Review for ESA and MSA Compliance

Is the proposed project located in a developed area within an urban setting and it has no potential to adversely affect, directly or indirectly, any federally listed species, Critical Habitat, and EFH? Note: in this form, EFH only applies to California and Hawaii.

☒ **YES.** A No Effect determination applies to the proposed project, and no consultation with the USFWS and NMFS is required under the ESA. **Please provide a summary of the No Effect determination in this cell.** Then stop here. Review concluded.

The proposed project occurs on a previously disturbed school campus in an urban area, will not destroy or adversely modify suitable habitat, and will not affect any other listed or proposed species under the jurisdiction of the US Fish and Wildlife Service or the National Marine Fisheries Service (the Services). It is therefore determined the proposed project would have "No Effect" on listed species and consultation with the Services under Section 7 of the Endangered Species Act is not required.

☐ **NO.** Continue to fill out this form.

Was a site visit conducted by a qualified Biologist (if applicable)?

☐ **NO.**

☐ **YES.** If a site visit was conducted by a qualified Biologist, insert date.

For projects in California, check the Biological Resources Datasets that were reviewed:

- ☐ Information for Planning and Consultation (IPaC) report
- ☐ NMFS Species List tool
- ☐ California Department of Fish and Wildlife's (CDFW) California Natural Diversity Database (CNDDDB) search within 10 miles of the Action Area
- ☐ Designated/Proposed Critical Habitat under the USFWS & NMFS within 10 miles of the Action Area
- ☐ Additional Data
 - ☐ Northern Spotted Owl (NSOW) Database within 10 miles
 - ☐ Essential Fish Habitat (EFH) viewer
 - ☐ California Fish Passage Assessment (CalFish) Database
 - ☐ California Native Plant Society (CNPS)
 - ☐ CalFlora
 - ☐ National Wetlands Inventory (NWI)
 - ☐ National Hydrography Dataset (NHD)
 - ☐ California Wildlife Habitat Relationships (CWHR)
 - ☐ Other. If applicable, replace "Other" with name of source: NatureServe, eBird, AmphibiaWeb, etc.

List all the federally listed species identified in the biological resources datasets above. Provide common and scientific names.

Of the species identified in the biological resources datasets, which federally listed species need further consideration? Provide common and scientific names.

No Effect Determination Form for FEMA-Funded Projects in CA, NV, AZ, and HI
Review for ESA and MSA Compliance

Does Designated/Proposed Critical Habitat occur within 10 miles of the Action Area?

☐ NO.

☐ YES. If yes, list the Critical Habitat designations with direction and distance to the Action Area. If Critical Habitat overlaps with the Action Area, provide a brief description of where it is located within the Action Area and explain whether "Physical and Biological Features (PBFs)" of Critical Habitat for that species occur within the Action Area.

Is the Action Area within EFH? Note: in this form, EFH only applies to California and Hawaii.

☐ NO.

☐ YES. If yes, list the designated EFH.

For the proposed project, was coordination with a qualified Biologist conducted or was Technical Assistance with USFWS and/or NMFS staff completed?

☐ NO.

☐ YES. If yes, provide details and names.

Why will the proposed project result in No Effects to any federally listed species, their suitable habitat, Critical Habitat, and/or EFH? Note: in this form, EFH only applies to California and Hawaii.



FEMA

October 5, 2020

**IN REPLY REFER TO:
EM-PW 00186 PA-4404**

**Ms. Rita Chong
State Historic Preservation Officer
Department of Community and Cultural Affairs
Commonwealth of the Northern Mariana Islands
Airport Road
P.O. Box 50090 C.K.
Saipan, MP 96950**

ATTN: Mr. John Palacios

**Re: William S. Reyes Elementary School Project, Saipan
FEMA-DR-4404-MP / 77519 / PW 00177**

Dear Ms. Chong:

The U.S. Department of Homeland Security's Federal Emergency Management Agency (FEMA) proposes to provide a Federal grant, through the Commonwealth of the Northern Mariana Islands (CNMI) Office of Homeland Security and Emergency Management (HSEM) to the Commonwealth of the Northern Mariana Islands Public School System (Subrecipient) to restore William S. Reyes Elementary School to pre-disaster condition (Undertaking). The campus was damaged by the Presidentially declared Federal disaster Super Typhoon Yutu (FEMA-DR-4404-MP) that occurred in October of 2018. The assistance would be provided through FEMA's Public Assistance Program pursuant to Section 406 of the Robert T. Stafford Disaster Relief and Emergency Assistance Act Pub. L. No. 93-288 (1974) (codified as amended at 42 U.S.C. § 5121 et seq.) (Stafford Act).

This activity meets the definition of a Federal Undertaking pursuant to Title 36 Code of Federal Regulations § 800.16(y). Accordingly, FEMA is required to comply with Section 106 of the National Historic Preservation Act. FEMA is reviewing the Undertaking pursuant to the Programmatic Agreement among FEMA, the CNMI State Historic Preservation Officer (HPO), and the CNMI HSEM executed in September of 2015 (Agreement). FEMA finds the Undertaking will result in **No Historic Properties Affected**.

Undertaking

The proposed Undertaking will include the following:

- **Building B (15.141581, 145.7028):**

- Structural inspection of the concrete roof to determine if it was damaged by the typhoon event.
- Remove and replace 13,826 SF of gypsum board ceiling.
- Remove and replace 576 each of 12" x 12" vinyl composition Floor tiles.
- Prep and paint 812.8 square feet of interior walls.
- Remove and replace 10 each electrical duplex outlets/receptacles.
- Remove and replace 10 each 2' x 4', 4-bulb florescent lights fixtures.
- **Building D (15.142022, 145.7033)**
 - Remove and replace 360 square feet of corrugated metal roofing at classrooms 1 and 2.
 - Remove and replace 360 square feet of corrugated metal roofing at classrooms 3, 4, and 5.
 - Remove and replace 64 linear feet of sheet metal ridge cap x 12 inches wide.
 - Remove and replace 102 linear feet of sheet metal ridge cap x 12 inches wide.
 - Remove and replace 1,984 square feet of 12" x 12" vinyl composition tile flooring.
 - Remove and replace 5,146 square feet of 12" x 12" vinyl composition tile flooring.
 - Remove and replace 40 each 24" x 48" suspended acoustical ceiling tiles.
- **Building E (Library and Office) (15.142603, 145.703267)**
 - Remove and replace 4,506 square feet of corrugated metal roofing.
 - Remove and replace 13 each 14-inch wide sheet metal ridge cap x 10 feet long.
 - Remove and replace 117 each 6-inch wide wood tongue and groove roof decking boards x 10 feet long.
 - Remove and replace 50 each 24" x 24" suspended acoustical ceiling tiles in the library.
 - Remove and replace 26 each 4' x 8' cloth faced fiberglass acoustical ceiling boards in the back office.
 - Remove and replace 3 each 3' x 4' Plexiglas windows.
 - Remove and replace 24 each 2' x 4' suspended fluorescent light fixtures.
 - Remove and replace 100 each 24" x 24" Suspended acoustical ceiling tiles.
- **Building F (15.143031, 145.703236)**
 - Remove and replace 6,120 square feet of corrugated metal roofing.
 - Remove and replace 2,325 square feet of tongue and groove roof decking.
 - Remove and replace 260 linear feet of roof gutter system.
 - Remove and replace 4,030 square feet of vinyl composition tile flooring.
 - Remove and replace 50 each electrical duplex receptacles and light switches.
 - Remove and replace suspended ceiling fluorescent light fixtures for the 4,030 square foot, four classroom building.
 - Remove and replace 4,030 square feet of suspended acoustical ceiling system.
 - Clean, apply disinfectant and anti-microbial, prep, and paint 4,000 square feet of interior perimeter and partitioned walls.
 - Remove and replace 5 each emergency lighting units.
 - Remove and replace 6 each exterior floodlights.
 - Remove and replace 3 each video surveillance cameras.
 - Remove and replace 6 each aluminum and glass doors.

- Remove and replace 900 square feet of wood partitions with 5/8" fire rated gypsum each face.
- **Building G (15.143289, 145.703022)**
 - Remove and replace 1 each 38-inch wide x 6.66 feet high Steel Bathroom Door.
 - Remove and replace 11 each 4.5 feet wide x 7.5 feet high metal bar window guards.
- **Building I (15.142344, 145.702286)**
 - Remove and replace 12,000 square feet of corrugated metal roofing.
 - Remove and replace 600 linear feet of 5-inch aluminum gutter system.
 - Remove and replace 1 each weather head and breaker panels with breakers and branch circuit - 3 panels approximately 450 AMP service.
 - Remove and replace 3,000 square feet of fiber cement siding at perimeter soffits.
 - Remove and replace 400 square feet of fiber cement siding at the exterior walls.
 - Clean, prep, and paint 6900 square feet of exterior siding.
 - Remove and replace 120 each 2' x 4' surface mounted fluorescent light fixtures.
 - Remove and replace 9,000 square feet of 5/8-inch thick gypsum board ceiling mounted on metal ceiling framing.
 - Remove and replace 5 each 3 ft x 7 ft metal exterior doors with small glass vision lite and door closers.
 - Remove and replace 5 each 3 ft x 6 ft sliding glass windows.
 - Remove and replace 5 each 4 ft x 8 ft accordion hurricane shutters.
 - Clean, apply disinfectant and anti-microbial agents, prep and paint 12,000 square feet of interior walls.
 - Remove and replace 4 each exterior floodlights.
 - Remove and replace 9,000 square feet of vinyl composition tile.
 - Remove and replace 1,200 linear feet of 1/8" x 4" high vinyl resilient base.
 - Remove and replace 10 each 2.5 ton, 24,000 BTU air conditioning units.
- **Building I Covered Walkways (15.142308, 145.702328)**
 - Replace 2,212.5 square feet of wood framing and corrugated metal roofing at the covered walkway canopies.
 - Replace 15 each 6-inch diameter concrete asbestos pipe columns x 8 feet long.
- **Building I South Bathrooms (15.141892, 145.7022)**
 - Remove and replace 1 each branch electrical circuit, 6 duplex receptacles and 2 switches for the 900 square foot restrooms.
 - Remove and replace 900 square feet of corrugated metal roofing.
 - Remove and replace 12 each 2' x 4', 2-bulb fluorescent light fixtures.
- **Cafeteria (15.141389, 145.702939)**
 - Structural inspection of the 2,800 square foot concrete roof to determine if it was damaged by the typhoon event.
 - Remove and replace 420 square feet of 24" x 24" suspended acoustical ceiling tiles.
 - Remove and replace 420 square feet of vinyl composition tile flooring.
- **Campus Wide Air Conditioning Units (15.141581, 145.7028; 15.143289, 145.703022; 15.141389, 145.702939; 15.142603, 145.703267)**
 - Remove and replace 11 each split type 24,000 BTU air conditioning units at Building B; 7 each split type 24,000 BTU air conditioning units at Building B; 1 each split type

24,000 BTU air conditioning units at Building G; 1 each 64,000 BTU ducted air conditioning units at the Cafeteria; and 1 each 64,000 BTU ducted air conditioning units at the Library.

- **Campus Wide Covered Walkways (15.142808, 145.702431; 15.141861, 145.702397; 15.141744, 145.702611; 15.141636, 145.703139; 15.141881, 145.703219)**
 - Demolish and replace 335.5 linear feet of 6-foot wide concrete sidewalks and wood framed canopies with corrugated metal roofing and concrete block columns with new covered canopies conforming with the pre-disaster design, function, and capacity of the covered walkways, within the existing footprint, and conforming to current codes and standards.
- **Perimeter Chain-link Fence and Gates (15.143611, 145.70235; 15.143525, 145.703247; 15.140078, 145.703225; 15.141867, 145.702003)**
 - Remove and replace 2,567 linear feet of 6-foot high chain link fencing with posts at 10 feet on center and 6 double gates and 8 single gates.
- **Canteen Building (15.14265, 145.703092)**
 - Demolish the slab on grade and footings and replace the 168 square foot wood framed Canteen building with a new building conforming to the pre-disaster design, function, and capacity of the Canteen building, within the existing footprint, and in accordance with current codes and standards.
- **Maintenance Building (15.142544, 145.703108)**
 - Remove and replace 1,064 square feet of corrugated metal roofing.
 - Remove and replace damaged components of the wood roof truss framing at the 1,064 square foot roof.
- **Recreational Facilities (15.143339, 145.702692)**
 - Remove and replace 1 each 5' x 4' of wooden basketball backboard.
 - Remove and replace 2 each aluminum 3 row bench x 15 feet long bleachers.
- **Water Pump Room (15.142906, 145.702239)**
 - Demolish and replace 42 square foot pump room and equipment with a new pump room building and equipment conforming with the pre-disaster design, function, and capacity of the existing pump room, within the school grounds, and in accordance with current codes and standards.

The proposed repairs to Building B, Building G, Building I, Building I Covered Walkways, and the Cafeteria would generally conform to programmatic allowance I.B.1 of the Agreement for repair and retrofit of buildings and structures under 45 years of age. The replacement of the Campus Wide Covered Walkways and the Water Pump Room would generally conform to programmatic allowance II.B.11.a for activities related to the elevation, demolition, and/or reconstruction of buildings or structures less than 45 years of age. The repairs that would be conducted at Building D, Building E, Building F, Building I South Bathrooms, and Maintenance Building would generally conform to Allowances II.B.1.a for in kind replacement of interior materials including floors, walls, and ceilings; II.B.2.a for replacement of building contents; II.B.3.a for in-kind repair or replacement or limiting upgrading of interior utility systems; II.B.3.d for the installation of communication and surveillance security systems; II.B.4.a for in-kind repair or replacement of damaged or severely deteriorated windows and window frames; II.B.4.c for replacement of exterior, utilitarian, non-

character-defining metal doors and frames; and II.B.6.b for in-kind repair, replacement, or strengthening of roofing. The proposed repairs to Perimeter Chain-link Fence and Gates generally conform to programmatic allowance II.A.2.b for minor upgrades to landscaping elements including fencing when proposed activities substantially conform to the original footprint. The proposed repairs to Recreational Facilities generally conform to programmatic allowance II.A.2.a for in-kind repairs or replacement, and minor upgrades to recreational facilities and features. The proposed repairs to Campus Wide Air Conditioning Units would generally conform to allowance II.B.3.a for in-kind repair or replacement or limiting upgrading of interior utility systems.

Per Stipulation II.A.3 of the Agreement, if FEMA determines that any portion of the Undertaking's scope of work does not conform to allowances, FEMA shall conduct 106 review for the entire Undertaking. Of the activities associated with the proposed Undertaking, the demolition and reconstruction of the Canteen does not conform to allowances since it was constructed ca. 1968 and is over 45 years of age. The Canteen building, however, was completely destroyed by strong winds during Typhoon Yutu and only the slab remains.

Area of Potential Effects

In accordance with Stipulation II.C.2 of the Agreement, FEMA has determined that the area of potential effects (APE) for the Undertaking encompasses the structures included in the scope of work and the adjacent buildings that comprise the William S. Reyes Elementary School campus and the subsurface area including the footprints of the covered walkways, Canteen Building, Water Pump Room, and perimeter fence.

Identification and Evaluation of Historic Properties

In accordance with Stipulation II.C.3 of the Agreement, FEMA has considered the Undertaking's potential to affect historic properties (see attached historic property assessment).

FEMA has applied the National Register of Historic Places (NRHP) Criteria and has determined that the buildings that comprise William S. Reyes Elementary School are not collectively or individually recommended eligible for listing on the NRHP. As the buildings are not recommended as eligible for the NRHP, no formal review of integrity was made.

The William S. Reyes Elementary School buildings are located within Saipan's archaeologically sensitive areas identified by your office. The subsurface area has the potential to contain eligible resources under NRHP Criterion D for archaeological resources. However, any ground disturbing activities associated with the demolition and reconstruction of the covered walkways, Canteen, Water Pump Room, and perimeter fencing would be limited to the previously disturbed ground within the footprints of the previously existing, damaged structures.

Finding of Effect

Based on a review of available historic research and the field evaluation, the buildings that comprise William S. Reyes Elementary School are not collectively or individually recommended eligible for listing on the NRHP. As the buildings are not recommended as eligible for the NRHP, no formal review of integrity was made. William S. Reyes Elementary School is, therefore, not a historic

Ms. Chong

October 5, 2020

Page 6 of 6

property for the purposes of Section 106. No previously recorded historic resources or buildings that are likely to achieve special consideration under Criteria Consideration G were identified within the vertical APE. Therefore, FEMA has determined that the Undertaking would result in **No Historic Properties Affected** in accordance with Stipulation II.C.4 of the Agreement.

FEMA respectfully requests your response to this communication, and concurrence with this finding within the 15-day agreed upon timeframe in accordance with Stipulation I.D.2.b of the Agreement. Unless the HPO objects within this period, FEMA may conclude the Section 106 of the National Historic Preservation Act review of the Undertaking, and FEMA may fund the Undertaking. In the interest of time, however, your prompt attention to this matter would be greatly appreciated. Should you have any questions or comments, please do not hesitate to contact Ethan McGaffey, Archaeologist and FEMA's Environmental and Historic Preservation Advisor for FEMA-DR-4404-MP at ethan.mcgauffey@fema.dhs.gov or (202) 313-2623.

Sincerely,

ETHAN N
MCGAFFEY

Digitally signed by
ETHAN N MCGAFFEY
Date: 2020.10.05
12:36:57 -07'00'

-For-

Teri Teye
Deputy Regional Environmental Officer
FEMA Region IX

Enclosure:

Historic Property Assessment Report of William S. Reyes Elementary School, Saipan,
Commonwealth of the Northern Mariana Islands.

Commonwealth of the Northern Mariana Islands Department of Community and Cultural Affairs
Historic Preservation Office Historic Properties Register Inventory Form.

HISTORIC PROPERTY ASSESSMENT REPORT OF WILLIAM S. REYES SCHOOL, SAIPAN, COMMONWEALTH OF THE NORTHERN MARIANA ISLANDS

**Prepared by:
CCPRS**

**2411 Dulles Corner
Park Suite 500 Herndon, VA 20171**

Applicant:

Commonwealth of the Northern Mariana Islands Public School System

FEMA Event: 4404DR-CNMI

FEMA Region IX

**1111 Broadway, Suite 1200
Oakland, California 94607**

October 5, 2020

CONTENTS

MANAGEMENT SUMMARY.....	IV
1.0 INTRODUCTION.....	1
1.1 POTENTIAL HISTORIC PROPERTY LOCATION AND AREA OF POTENTIAL EFFECTS	1
1.2 REPORT ORGANIZATION	1
2.0 REGULATORY CONTEXT	6
2.1 NATIONAL HISTORIC PRESERVATION ACT.....	6
3.0 RESEARCH METHODS	7
4.0 HISTORICAL OVERVIEW	8
4.1 THE NORTHERN MARIANA ISLANDS.....	8
4.1.1 Spanish Period	8
4.1.2 German Period	9
4.1.3 Japanese Period	10
4.1.4 Trust Territory of the Pacific Islands	10
4.1.5 The Commonwealth of the Northern Mariana Islands	11
4.2 PUBLIC EDUCATION IN THE NORTHERN MARIANA ISLANDS.....	12
4.3 WILLIAM S. REYES SCHOOL	13
5.0 FIELD INVESTIGATION	17
5.1 FIELD METHODS	17
5.2 WILLIAM S. REYES ELEMENTARY SCHOOL	17
5.2.1 National Register of Historic Places Evaluation.....	27
6.0 CONCLUSIONS AND MANAGEMENT RECOMMENDATIONS	29
7.0 REFERENCES	30

APPENDICES

Appendix A. Commonwealth of the Northern Mariana Islands Department of Community and Cultural Affairs Historic Preservation Office Historic Properties Register Inventory Form.....	322
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FIGURES

Figure 1-1 Project Vicinity Map (Image Courtesy of Google Earth, 2019).....	2
Figure 1-2 Project Location Map (Island of Saipan 1999 1:25000 scale USGS topographic quadrangle)	3
Figure 1-3 Project Area Map (Image Courtesy of Google Earth, image dated 2018)	4
Figure 4-1 Chalan Kanoa School, first purpose-built school building, ca. 1950s (University of Hawaii, Manoa 2019).....	14
Figure 4-2 Chalan Kanoa School after Typhoon Jean, ca. 1968 (Department of Public Affairs 2019).....	15

Figure 4-3 Chalan Kanoa School after Typhoon Jean, ca. 1968 (University of Hawaii, Manoa 2019).....	15
Figure 4-4 Fire at Chalan Kanoa School, 1972 (University of Hawaii, Manoa 2019).....	16
Figure 5-1 Building A, south and east elevations, facing northwest	17
Figure 5-2 Building B, north and west elevations, facing southeast	18
Figure 5-3 Building C, east elevation, facing west.....	19
Figure 5-4 Building D, north and west elevations, facing southeast	20
Figure 5-5 Building E, north and west elevations, facing southeast	20
Figure 5-6 Building F, south and west elevations, facing northeast	21
Figure 5-7 Building G, north and west elevations, facing southeast.....	22
Figure 5-8 Building I, east elevation, facing west	23
Figure 5-9 Old Stage, south and east elevations, facing northwest	23
Figure 5-10 Stage, south and west elevation, facing northeast.....	24
Figure 5-11 Restroom, south and east elevations, facing northwest	25
Figure 5-12 Restroom Building, north and east elevations, facing southwest	26
Figure 5-13 Pumphouse, south and east elevations, facing northwest	26
Figure 5-14 Former location of Auditorium, Facing southeast.....	27
Figure 5-15 Former location of Canteen, Facing southwest.....	27

MANAGEMENT SUMMARY

The Commonwealth of the Northern Mariana Islands Public School System (CNMI Public School System) has applied for a grant through the Federal Emergency Management Agency's (FEMA) Public Assistance Program for future projects at William S. Reyes School. While no specific scope of work has been proposed, the following assessment is the first part of a phased consultation intended to identify any historic built environment resources present on the William S. Reyes campus. The William S. Reyes School campus was constructed ca. 1968-2000 and has, therefore, achieved sufficient age for consideration as a historic property for the purposes of Section 106 of the National Historic Preservation Act (NHPA).

This report summarizes the methods and results of the historic property investigation of William S. Reyes School. This investigation included background research, survey, and evaluation of the buildings that comprise the William S. Reyes School campus. The purpose of the investigation was to determine if the campus and/or individual buildings are historic properties under Section 106.

William S. Reyes School was evaluated for historic significance by applying the criteria of the NRHP. Based on a review of available historic research and the field evaluation, William S. Reyes School, as a whole, is not recommended eligible for listing on the NRHP. Further, no individual buildings that comprise the William S. Reyes School are recommended individually eligible for the NRHP. The campus and the buildings that comprise the campus, therefore, are not collectively or individually historic properties for the purposes of Section 106.

1.0 INTRODUCTION

1.1 POTENTIAL HISTORIC PROPERTY LOCATION AND AREA OF POTENTIAL EFFECTS

The William S. Reyes School campus is located in the vicinity of Chalan Kanoa in Saipan, Commonwealth of the Northern Mariana Islands (Figure 1-1). The Project area is situated within the Island of Saipan 1:25000 scale U.S. Geological Survey (USGS) topographic quadrangle (Figure 1-2). The Project area includes the entirety of the school campus (Figure 1-3). The elevation of the Project area is approximately 28 feet above mean sea level (amsl).

The direct Area of Potential Effects (APE) is the entirety of the William S. Reyes School campus. The campus is located within a previously identified archaeologically sensitive area and the subsurface area is likely eligible under NRHP Criterion D for archaeological resources. The horizontal APE is comprised of the immediately adjacent properties.

1.2 REPORT ORGANIZATION

This report documents the results of a historic property investigation of William S. Reyes School. Chapter 1 has introduced the historic property location and report organization. Chapter 2 states the regulatory context that should be considered. A summary of sources and repositories used during historical research is presented in Chapter 3. Chapter 4 synthesizes the historical context of the property and surrounding region. The field methods employed during this investigation and findings are outlined in Chapter 5 with conclusions provided in Chapter 6. This is followed by bibliographic references. The Commonwealth of the Northern Mariana Islands Department of Community and Cultural Affairs Historic Preservation Office Historic Properties Register Inventory Form (HPRI Form) for William S. Reyes School is located in Appendix A.

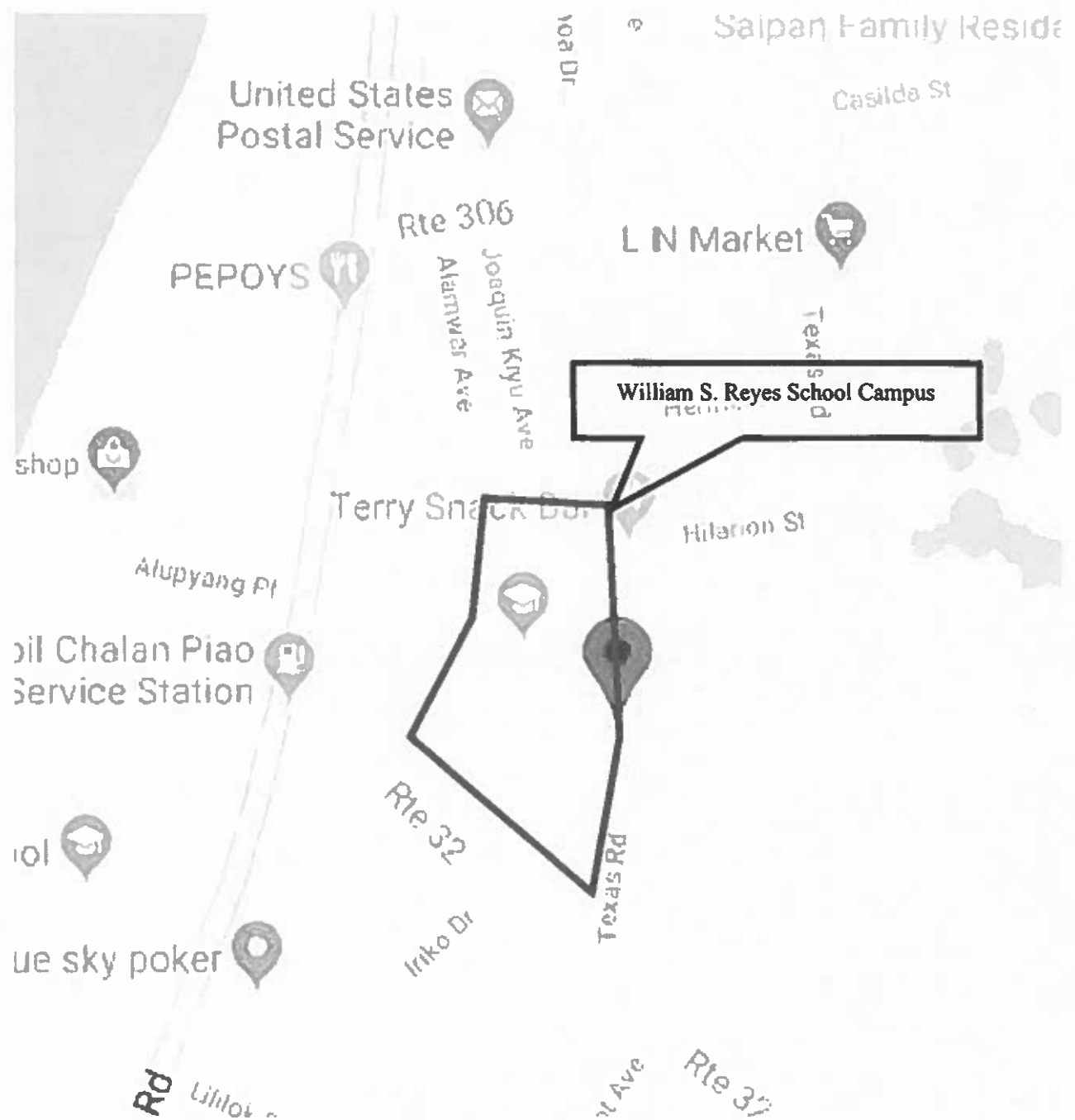


Figure 1-1 Project Vicinity Map (Image Courtesy of Google Earth, 2019)

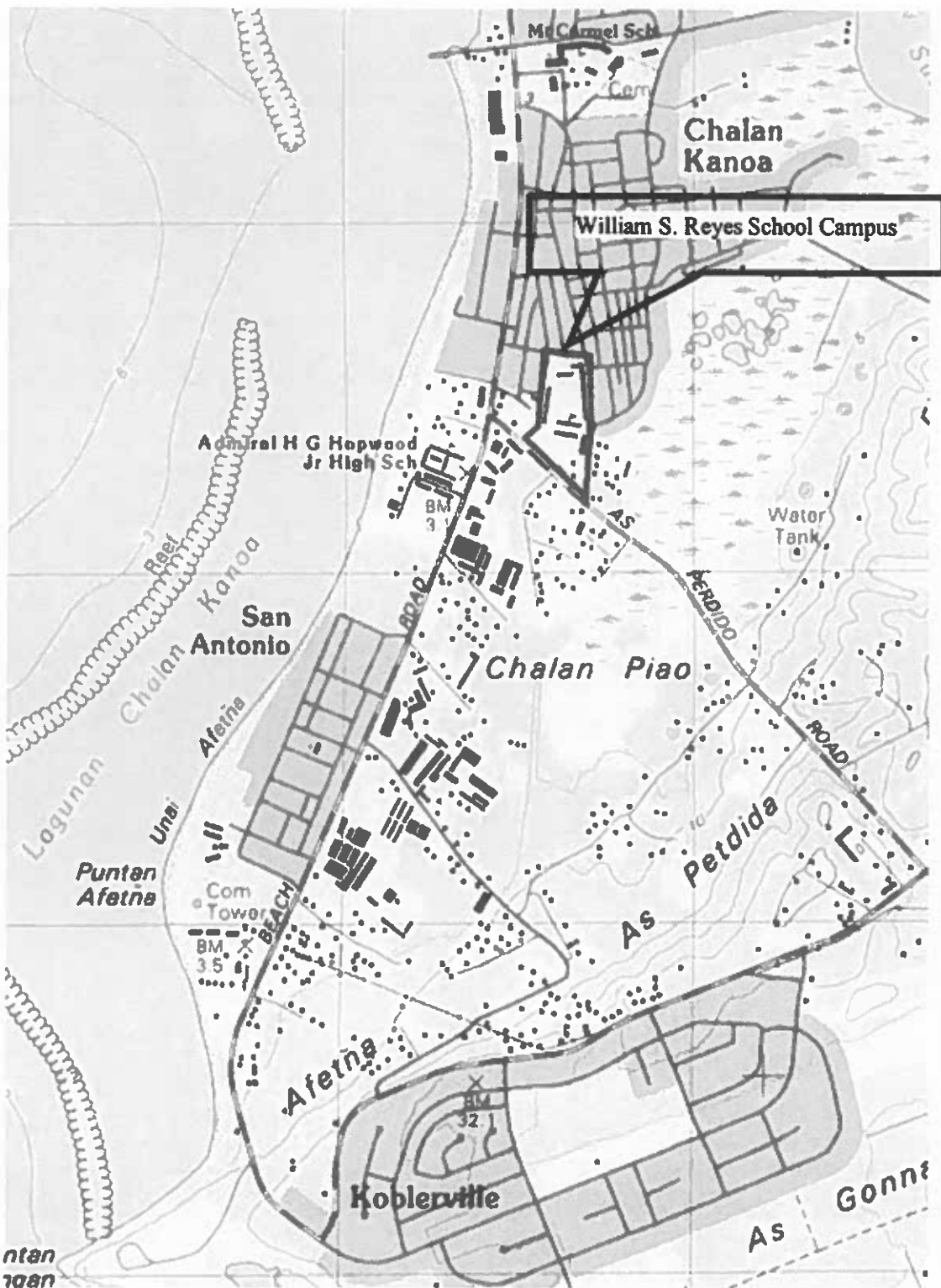


Figure 1-2 Project Location Map (Island of Saipan 1999 1:25000 scale USGS topographic quadrangle)

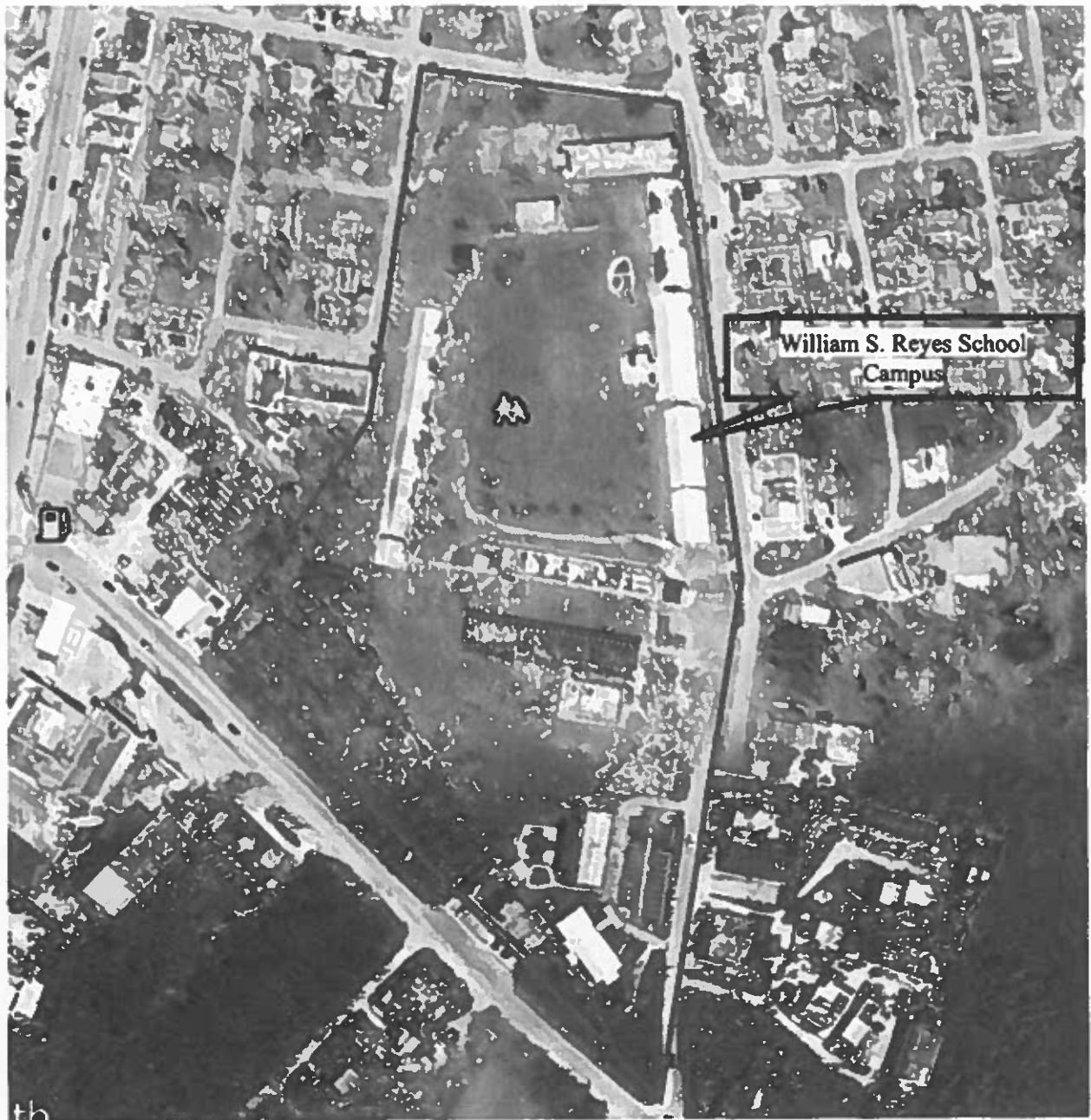


Figure 1-3 Project Area Map (Image Courtesy of Google Earth, image dated 2018)



School Map

William S. Reyes Elementary School

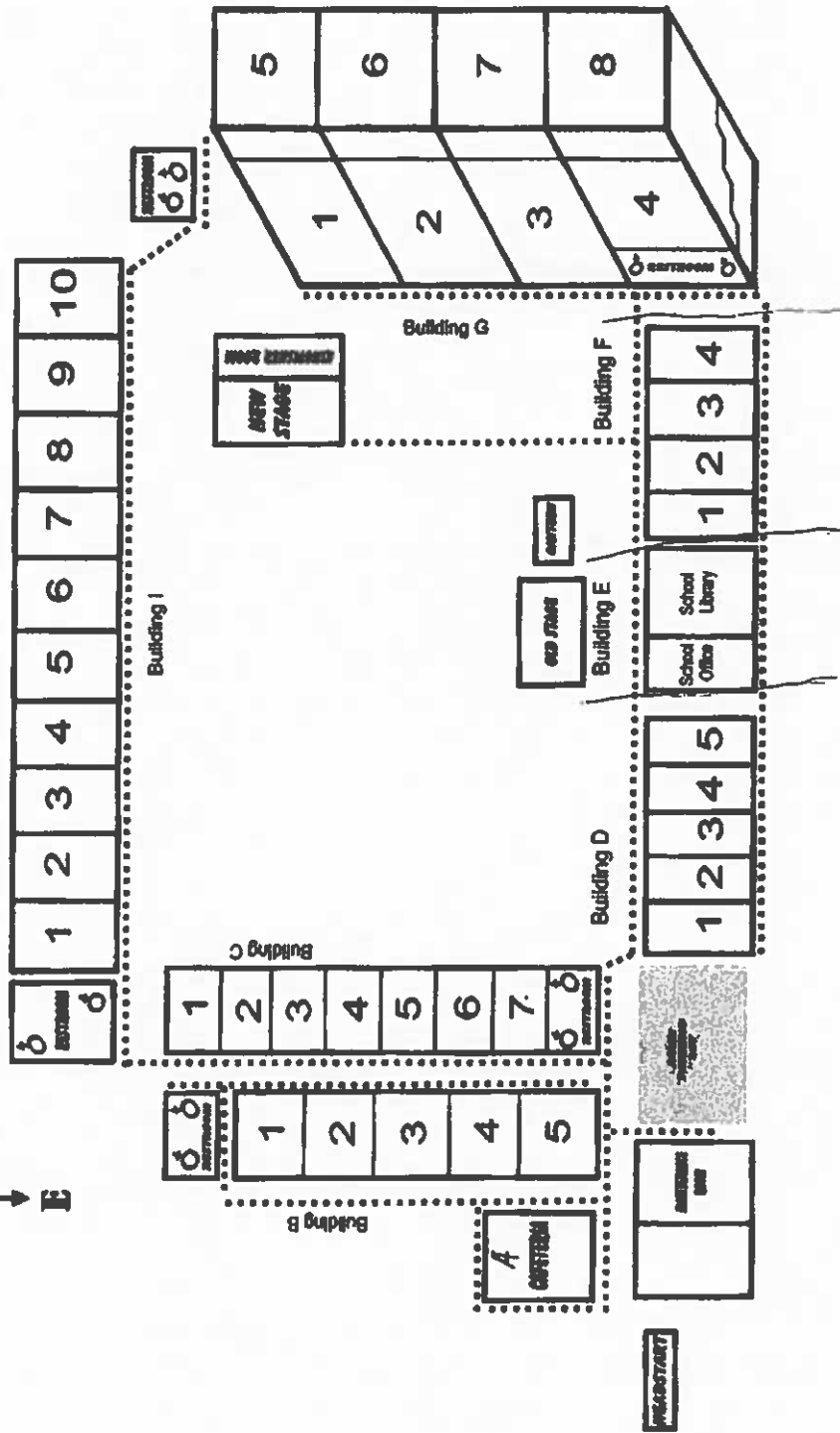
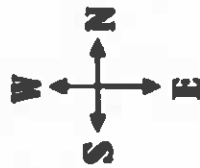


Figure 1-4 Campus Map

2.0 REGULATORY CONTEXT

2.1 NATIONAL HISTORIC PRESERVATION ACT

Were Federal funds to be used to execute the proposed improvement, the project would be a Federal “undertaking” per 36 CFR 800.2(o) and subject to compliance with Section 106 of the NRHP, as amended. Under this regulation, federal agencies are required to identify cultural resources that may be affected by their project actions, assess the significance of these resources and their eligibility for inclusion on the National Register of Historic Places (NRHP) as per 16 USC 470w(5), and consult with the Advisory Council on Historic Preservation regarding project effects on significant resources. Eligibility is based on criteria defined by the Department of the Interior. Generally, districts, archaeological sites, buildings, structures, and objects that possess integrity are potentially eligible for inclusion in the NRHP under the following criteria:

- a) That are associated with events that have made a significant contribution to the broad patterns of our history; or
- b) That are associated with the lives of persons significant in our past; or
- c) That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- d) That have yielded, or may be likely to yield, information important in prehistory or history [36 CFR 60.4]

If a cultural resource is determined to be an eligible historic property under 36 CFR 60.4, then Section 106 requires that the effects of the proposed Undertaking be assessed and considered in planning the Undertaking.

To be listed in the NRHP, a property must not only be shown to be significant under the NRHP criteria, but it also must have integrity. Integrity is the ability of a property to convey its significance. The seven aspects of integrity are location, design, setting, materials, workmanship, feeling, and association.

3.0 RESEARCH METHODS

General contextual and site-specific research was conducted for William S. Reyes School and the surrounding area. Sources consulted include the Commonwealth of the Northern Mariana Islands Department of Community and Cultural Affairs Division of Historic Preservation, NRHP, historic aerial photographs, the Los Angeles Public Library databases, *Saipan Tribune* and *Marianas Variety*, and general online research.

Mr. Lucas Simonds, formerly of the CNMI Division of Historic Preservation, was contacted on September 13, 2019 for any existing information regarding this property within the files maintained by the Historic Preservation Office (HPO). On September 17, 2019 Mr. Simonds responded that no formal record or historical assessment exists for any buildings located on the William S. Reyes School campus. Mr. Simmonds also responded that an archaeological study was completed in 2012 that addressed the William S. Reyes School campus. *Final Report of the Archaeological Investigations at the William S. Reyes Elementary School, Chalan Kanoa, Saipan, Commonwealth of the Northern Mariana Islands* by Paul L. Cleghorn indicated that two NRHP eligible archaeological deposits were identified (Cleghorn 2002). Mr. Simmonds also provided additional information to aid in researching the property.

4.0 HISTORICAL OVERVIEW

This section of the report summarizes information regarding the historic context of the Project area. Overarching historic themes were identified to establish a historic context within which to evaluate Building 5. These themes include the general history of the Northern Mariana Islands, public education in the Northern Mariana Islands, and William S. Reyes School.

4.1 THE NORTHERN MARIANA ISLANDS

The general history of the Northern Mariana Islands was largely synthesized from *The History of the Northern Mariana Islands* by Don A. Farrell (1991) and the report entitled *Commonwealth of the Northern Mariana Islands as Fishing Community* by Stewart D. Allen and Judith R. Amesbury (2012) as well as additional sources.

4.1.1 Spanish Period

Prehistoric people have inhabited the Mariana Islands for thousands of years prior to the earliest European contact with the region. The earliest recorded European contact with the Mariana Islands was when Ferdinand Magellan arrived in 1521. In 1565 the islands were claimed by Miguel Lopez de Legazpi for Spain, although no permanent Spanish settlements were established (Carano and Sanchez 1964). In 1668, Guam was colonized when the first permanent Spanish mission in the Marianas was established by Father Diego Luis de Sanvitores, along with four other Jesuit priests, some laborers, and approximately 30 soldiers. Initially welcoming, the Chamorro soon came into conflict with the Spanish as the missionary practices became more aggressive (Farrell 1991).

Beginning in 1670, the Chamorro began revolting against the Spanish occupiers. The missionary Father Medina was killed on Saipan in 1670 and Father Sanvitores was killed on Guam in 1672 (García 2004). The Spanish-Chamorro Wars continued for 25 years until 1695 when the Chamorro were overwhelmed by soldiers led by Governor Quiroga at Aguiguan (Allen and Amesbury 2012).

At the end of the Spanish-Chamorro Wars, the Spanish required the natives of the Northern Mariana Islands to move to Guam. By the middle of 1699, only Saipan and Rota were still inhabited. The population on Saipan was about 600 to 700 Chamorro (Farrell 1991). There were two churches on the island that were destroyed by a typhoon in 1705. A new church was completed by 1720, but the mission on Saipan closed in 1730. While Rota was never completely depopulated, the native inhabitants of all of the islands north of Rota had been removed by about 1740. There were no permanent residents on the island of Saipan again until 1815 (Allen and Amesbury 2012).

Besides the Chamorro, the Carolinian people were the other predominant local group to settle the Mariana Islands. While the Carolinian people from the Caroline Islands to the south of the Marianas had traveled to the Marianas during the Prehistoric Period, they largely avoided the Marianas during the Spanish Period in order to avoid the Spanish (Allen and Amesbury 2012). In 1721 a group of 24 Carolinians were forced to Guam while avoiding a typhoon. This raised the interest in the Carolinians by both the missionaries and traders on Guam (Farrell 1991). In 1788, Carolinians from Lamotrek arrived in canoes at Talofofo Bay, Guam, to trade for iron (Barratt 1988). The Carolinians were befriended by Luis de Torres, the son of a Spanish army officer married to a Chamorro woman, who had a concerted interest in establishing trade with the Carolinians. This initial Carolinian trading expedition never returned to the Carolines. In 1804, Torres visited the Carolines and when he learned that the canoes had failed to return

to Lamotrek, he concluded that a storm had killed the voyagers on their return. Torres invited the Carolinians to reestablish trade with the Marianas, and the trading voyages resumed in 1805 (Allen and Amesbury 2012).

In 1815 a typhoon devastated the islands of Satawal and Elato in the Caroline Islands. People from those islands met at Lamotrek and moved to Saipan, where they established the village of Arabwal, later known as Garapan. Later more Carolinians from Lamotrek and Tamatam also settled in Arabwal. Official permission for the Carolinian settlement on Saipan was received from the Governor General of the Philippines in 1818 (Farrell 1991). In 1839 another group of Carolinians arrived at Guam, and in 1843 the Governor General of the Philippines decided to allow them to live on Saipan. In 1851 the population of Saipan was 267, all Carolinians except for one Spanish official (Spoehr 2000). In 1865 a labor shortage led to the transportation of Carolinians to the islands, largely by an English sea captain named George Johnson. Johnson also established a cattle ranch on Tinian (Farrell 1991).

Between 1865 and 1869, Chamorro began to migrate from Guam to Saipan, and by 1869 the 459 people on Saipan included 128 Chamorro (Farrell 1991). In 1879 a group of Carolinians from Johnson's Tinian ranch established the settlement of Talaabwogh (Tanapag), north of Arabwal (Garapan). An 1884 census indicated that there were 760 indigenous people on Saipan, 231 on Tinian, and 499 on Rota (Allen and Amesbury 2012). In 1875 several hundred political revolutionaries from Spain were deported to the Marianas, the bulk of which ended up on Saipan. The arrival nearly doubled the population of the island and caused significant turmoil until they were removed in 1877 (Farrell 1991).

In 1886, 849 people were living in Saipan, two-thirds of whom were Carolinian (Olive 1984:89). Two hundred thirty-five people were living in Tinian; all but 2 were Carolinian. Only 75 of the 487 people on Rota were Carolinian. In 1889, Tinian was depopulated again when Governor Enrique Solano removed the Carolinians from Tinian to Saipan, where they joined the other Tinian Carolinians at Tanapag and eventually intermarried with Chamorro settlers (Farrell 1991).

After the end of the Spanish-American War in 1898, the United States took over Guam but failed to establish an occupying force on the other Mariana Islands. Because of this the islands remained in the possession of Spain who, in turn, negotiated the sale of the islands to Germany (Mack 2017).

4.1.2 German Period

George Fritz, the first district officer for the German Northern Marianas, arrived on Saipan and took office on November 17, 1899. His primary focus was to improve the infrastructure of the islands to maximize their economic potential. These projects included the construction of permanent government and administrative buildings, the first of which was completed in 1901, and the improvement of roads. The establishment of compulsory public education and a local police force helped to ease tensions between Chamorro and Carolinian people by bringing them into regular contact with one another. The policy of local land ownership on the islands was also introduced during this period, which led to increased settlement and investment (Farrell 1991). During Fritz's administration more than 100 Carolinian people from the Maria Cristina barrio on Guam were moved to Saipan. The 1902 census found 2,402 people living in the Northern Marianas (Allen and Amesbury 2012).

The primary economic interest for the Germans was Copra (dried coconut meat). Fritz enlisted prisoners, school children, and public workers to plant coconuts, and 50,000 coconut trees were planted on Saipan (Farrell 1991). Due to Fritz's economic and political policies, copra exports more than doubled from 400 tons in 1901 to 900 tons in 1903 and the population of the Northern Mariana Islands increased by 30% between 1900 and 1905 (Allen and Amesbury 2012). Despite the efforts of the German administration,

the Mariana Islands were plagued by a series of earthquakes, typhoons, and droughts that stymied the larger economic and infrastructure plans of the Germans (Farrell 1991).

The outbreak of World War I in 1914 marked the beginning of the end for the German administration of the Mariana Islands. Japan, an ally of Britain, moved against German holdings in the Pacific. On October 14, 1914, Saipan was seized by Japan with no German resistance (Farrell 1991).

4.1.3 Japanese Period

After the Japanese takeover in 1914, the Northern Marianas became one of six Japanese naval districts of Micronesia. Other districts were Palau, Yap, Chuuk, Pohnpei, and Jaluit. When World War I ended, the League of Nations gave Japan the mandate over Micronesia. Japan resigned from the League of Nations in 1933 but continued to govern the Northern Marianas as part of the Japanese Empire. Unlike the Spanish or the Germans, the Japanese took the approach of active settlement and enforced cultural assimilation on the Chamorro and Carolinians. In 1935, when the indigenous population of the Northern Marianas was less than 5,000, there were nearly 40,000 Japanese, Okinawans, and Koreans living in the Northern Marianas (Allen and Amesbury 2012).

The primary economic interest of the Mariana Islands for the Japanese was sugar production. During World War I, the price of sugar soared, and two Japanese companies began planting sugarcane on Saipan prior to joining the conflict but the companies failed when the price of sugar dropped after the war ended. In 1920 a Japanese man named Haruji Matsue visited Saipan and formed the Nanyo Kohatsu Kaisha (NKK) and brought in Okinawans to grow sugarcane. He built a narrow-gauge railroad line to carry the cane to the factory in Chalan Kanoa, Saipan. In 1926, Matsue gained an exclusive lease on the entire island of Tinian, which eventually produced 50% more sugar per year than Saipan. In 1930, the NKK began developing Rota, where they found phosphate deposits and began mining operations (Allen and Amesbury 2012).

By the late 1930s, Japan had begun a military buildup in the Northern Marianas, resulting in the displacement of many Chamorro and Carolinians to accommodate the influx of soldiers (Farrell 1991). In 1941 Saipan was home to more than 42,000 Japanese citizens and 30,000 Japanese troops, along with 4,000 Chamorros and Carolinians (Mack 2017). On December 8, 1941, just a few hours after the bombing of Pearl Harbor in Hawaii, Japanese planes took off from Aslito Field on Saipan to bomb Guam. The American governor of Guam surrendered to the Japanese on December 10, 1941, and all of the Marianas remained under Japanese control until 1944 (Allen and Amesbury 2012).

In 1944, U.S. forces fought their way across the Pacific toward Japan employing an ‘island-hopping’ strategy that came to the Marianas in full force in June 1944 (Mack 2017). The American pre-invasion bombing of Saipan and Tinian began on June 11, 1944. After days of bombarding Saipan from air and sea, approximately 20,000 Marines landed on Saipan on June 15, 1944 (Denfeld 1997). Weeks of intense fighting with heavy losses on both sides culminated in the Americans officially declaring Saipan secure on July 9, 1944 and Tinian was declared secure on August 1, 1944 (Allen and Amesbury 2012). Rota and the islands north of Saipan remained in Japanese hands until the end of the war.

4.1.4 Trust Territory of the Pacific Islands

After the American conquest of Saipan, Tinian, and Guam, the Mariana Islands became important military bases for U.S. forces and served as the staging area for many significant operations in the Pacific. Saipan was the staging area for the invasion of Iwo Jima in February 1945, and Tinian became the largest operational airbase in World War II (Farrell 1991). The Enola Gay and Bock’s Car, the planes that carried

out the atomic attacks by the U.S. on the Japanese at Hiroshima and Nagasaki, were sent from the airfield on Tinian on August 6 and 9, 1945.

From 1944 to 1947, the U.S. Naval Military Government administered the Northern Marianas. The Chamorro and Carolinians were considered liberated people; however, they were forced into camps by the American forces. On Saipan, a camp was built for the Chamorro and Carolinians at Lake Susupe before they were relocated to Camp Chalan Kanoa where they remained until July 4, 1946. At the end of the war, nearly 50,000 Japanese, Okinawan, Korean, and Chinese civilians lived in the Marianas. Japanese and Okinawans were treated as citizens of an enemy nation, while the Koreans and Chinese were treated as citizens of countries that would regain their sovereignty after the war, but all were relocated to camps (Farrell 1991).

In April of 1945, the population of Saipan, excluding military personnel, was 17,974 (2,426 Chamorro, 810 Carolinians, 13,373 Japanese and Okinawans, and 1,365 Koreans) (Farrell 1991). By the end of the war in September 1945, Camp Churo on Tinian held 11,479 people, none of whom were Chamorro or Carolinian. In September 1945, about 500 Chamorro and Carolinians were brought to Saipan from Pagan, Agrihan, Asuncion, and Alamagan. All Japanese were eventually returned to Japan. Okinawans were given the option to remain in the Marianas, and originally several thousand wanted to stay and live on Tinian. However, most changed their minds, and by the end of 1946 all Japanese, Okinawan, Korean, and Chinese civilians had been repatriated (Allen and Amesbury 2012).

Between 1945 and 1948, many Chamorro from the diaspora began to return to the Northern Marianas from other parts of Micronesia. In 1945, 76 Chamorro arrived from Pohnpei to Saipan. In 1946, 226 Chamorro and 8 Carolinians arrived from Yap to Saipan, and 39 others returned from Palau. In 1948, nearly 600 Chamorro from Yap arrived at Saipan and Tinian, thus repopulating Tinian which had been unpopulated since the U.S. military withdrew forces in 1946 (Farrell 1991).

After World War II, the newly formed United Nations took control of eleven former Axis possessions and formed Trust Territories to be administered by specific nations. The United States administered the Micronesian islands formerly controlled by Japan, forming the Trust Territory of the Pacific Islands (Mack 2017). The Northern Mariana Islands were part of the Trust Territory of the Pacific Islands from 1947 to 1976. The American military began to decommission some military operations beginning in 1946 when they completely pulled out of Tinian. By 1950, all U.S. military installations on Saipan had been closed as well (Allen and Amesbury 2012).

4.1.5 The Commonwealth of the Northern Mariana Islands

By 1969 the people of the Northern Mariana Islands had wanted to exit the Trust Territory of the Pacific Islands and be politically reunited with Guam (Rogers 1995). In four separate referenda – 1958, 1961, 1963, and 1969 – the people of the Northern Mariana Islands voted to reunite with Guam (Mack 2017). However, in a special referendum on Guam in 1969, the Guamanians voted against reunification (Farrell 1991). In 1975, the voters of the Northern Marianas chose to join the U.S. as a commonwealth (U.S. Government 1975:6), and in 1976 the Covenant to Establish a Commonwealth of the Northern Mariana Islands in Political Union with the United States of America (Covenant) (Public Law 94-241) was signed into law by President Gerald Ford. The Covenant defines the political relationship between the Commonwealth of the Northern Mariana Islands (CNMI) and the United States, with the CNMI as a self-governing entity under the sovereignty of the United States (Allen and Amesbury 2012).

The CNMI government adopted its own constitution in 1977, and the constitutional government took office in 1978 when Dr. Carlos S. Camacho became the first governor of the CNMI (U.S. Government 1978:5). The Covenant was fully implemented on November 3, 1986, pursuant to Presidential Proclamation 5564, which conferred United States citizenship on legally qualified CNMI residents. The people of CNMI are U.S. citizens, but they cannot vote in the U.S. presidential election. In 2008, Congress established a nonvoting CNMI delegate's seat in the U.S. House of Representatives; the first CNMI delegate took office in January 2009 (Allen and Amesbury 2012).

The CNMI has four municipalities (the Northern Islands, Saipan, Tinian, and Rota), each having a mayor, as well as a chiefly structure for their Carolinian communities that influence community life (Allen and Amesbury 2012).

According to the Commonwealth Covenant, only certain sections of the U.S. naturalization and immigration laws applied to the CNMI, which allowed the CNMI to control its own immigration. This allowed the CNMI to bring in low-wage labor from countries in Asia. The Covenant also allowed products made in the CNMI to enter the United States duty free. Both of these provisions encouraged the growth of the garment industry in Saipan further encouraged by the local government's establishment of a low minimum wage and allowing businesses to utilize foreign "guest workers." By 1995, the number of jobs in the garment industry had reached 7,710 becoming the most prominent economic force in the CNMI. The CNMI garment industry produced clothing for global brands such as Tommy Hilfiger, Calvin Klein, Gap, Levi's, Abercrombie and Fitch, Polo Ralph Lauren, Ann Taylor, and Liz Claiborne (Allen and Amesbury 2012).

The garment industry in the CNMI was severely hit when China entered the World Trade Organization in 2001 and obtained access to American markets in 2005 (McPhee & Associates and Conway 2008). Up to that time, CNMI garment factories competed successfully in the U.S. apparel market because of the commonwealth's relatively low minimum wage and access to foreign labor. But in competition with China's extremely low wage rates, the CNMI could not maintain its advantage and the garment industry largely closed (Allen and Amesbury 2012).

Tourism became the other major economic driver for the CNMI. The proximity of the CNMI to Japan and other Asian countries combined with its natural tropical beauty made the CNMI a prime location for the establishment of a tourism-based economy during the 1980s and 1990s. From 1980 to 1995, the number of tourists and other travelers to the CNMI increased sevenfold, rising to nearly 700,000 and boosting visitor industry employment to an estimated 9,570 (McPhee & Associates and Conway 2008).

4.2 PUBLIC EDUCATION IN THE NORTHERN MARIANA ISLANDS

Non-indigenous institutionalized education can be traced to as early as the first Spanish missionaries to come to the Northern Mariana Islands in the 16th Century. During the Spanish occupation education was largely administered by missionaries and concentrated on Catholic theology, but reading, writing, math, and vocational skills were taught as well. During the German occupation (1899-1914), compulsory secular education was instituted for children from 6 to 18. The first public school was established on Rota in 1900 and by 1902 courses in German language, math, history, geography, and natural history were being taught. By 1905 the school had its first full-time faculty and compulsory education was established (Farrell 1990).

During the Japanese occupation (1914-1944) two separate school systems were established, one for the indigenous population and one for the children of Japanese citizens. All indigenous persons were required to attend three years of schooling, which was comprised of Japanese language instruction, math, agriculture, gymnastics, geography, and handicrafts. While most indigenous students only completed three years, some were allowed an additional two years of education which could be potentially followed by additional vocational training. Japanese students were offered more educational opportunities and were provided eight years of schooling consistent with education on the Japanese mainland (Farrell 1990).

Public education came to a halt during World War II, but shortly after the United States gained control of the Northern Mariana Islands the United States military reestablished schooling for the local population. An informal school was established at Camp Susupe in 1944 followed by the establishment of the Findley School for Native Children (later renamed Chalan Kanoa Elementary School) in 1945. The United States reinstituted uniform public education throughout Micronesia, including in the Northern Mariana Islands, in 1946. By 1949 there was a need for additional school facilities, and the Saipan Intermediate School (later Hopwood Middle School), which offered education from 7th to 9th grade, was established in 1949 near the Chalan Kanoa Elementary School site. Students who wished to continue their education beyond the 9th grade could attend private schools. Xavier High School, the first full high school in Micronesia opened in Chuuk in 1953. Mount Carmel High School opened on Saipan in 1959.

During the 1960s the United States made many investments in infrastructure and public schools throughout the Trust Territory of the Pacific Islands, including Saipan and the Northern Mariana Islands. The United States had been criticized for not remediating damage caused during World War II and for the lack of educational facilities. These issues began to take on more urgency in light of Cold War escalations during the 1960s as the poor treatment of United States territories became a point of comparison with the USSR. In April of 1962, the Kennedy Administration had prepared a top-secret policy document (National Security Action Memorandum 145) that outlined a new policy for a "greatly accelerated program of political, economic and social development" with a 1968 target date. The memorandum stated that "there is an urgent need for the initiation of programs leading to the improvement of education" in the Trust Territory of the Pacific Islands (Russell 2012). As a result, over 400 American-style classrooms were constructed in the Trust Territory of the Pacific Islands between 1962 and 1965 and many mainland teachers were recruited to staff the schools (Engeldow 1965).

4.3 WILLIAM S. REYES SCHOOL

William S. Reyes Elementary School was initially established the U.S. Naval Administration as Findley School for Native Children likely named after the Military Governor at the time Commander L. Gordon Findley (Newman 1946:5) and later renamed Chalan Kanoa Elementary School. At the time, it was the only elementary school on Saipan. Initially, the school was housed in U.S. military Quonset huts with a purpose-built school building eventually being constructed on the property. In 1962, when the U.S. Navy transferred administration of the Northern Mariana Islands to the Trust Territory of Pacific Islands, the admiration of the school was transferred as well (William S. Reyes Elementary School 2007). Like much of Saipan, the school was severely damaged by Typhoon Jean in 1968. Many of the school buildings, particularly the Quonset huts, were destroyed. The main school building also suffered extensive damage including the loss of the roof. New school buildings were constructed after Typhoon Jean to offset the loss of the Quonset huts. A fire in 1972 further impacted the campus, destroying the principal school building as well as others. The extant buildings on the campus appear to have been constructed between 1968 and shortly after the 1972 fire.

In 1978, the government of the Commonwealth of the Northern Mariana Islands was established, and administration of the school transferred to the CNMI Public School System (William S. Reyes Elementary School 2007). In 1984 the school was renamed William S. Reyes Elementary School after the first superintendent of CNMI public schools “to honor Mr. William S. Reyes in recognition for his long, dedicated and outstanding services towards the education of the residents and the citizens of the Commonwealth of the Northern Mariana Island (CNMI 1984).”

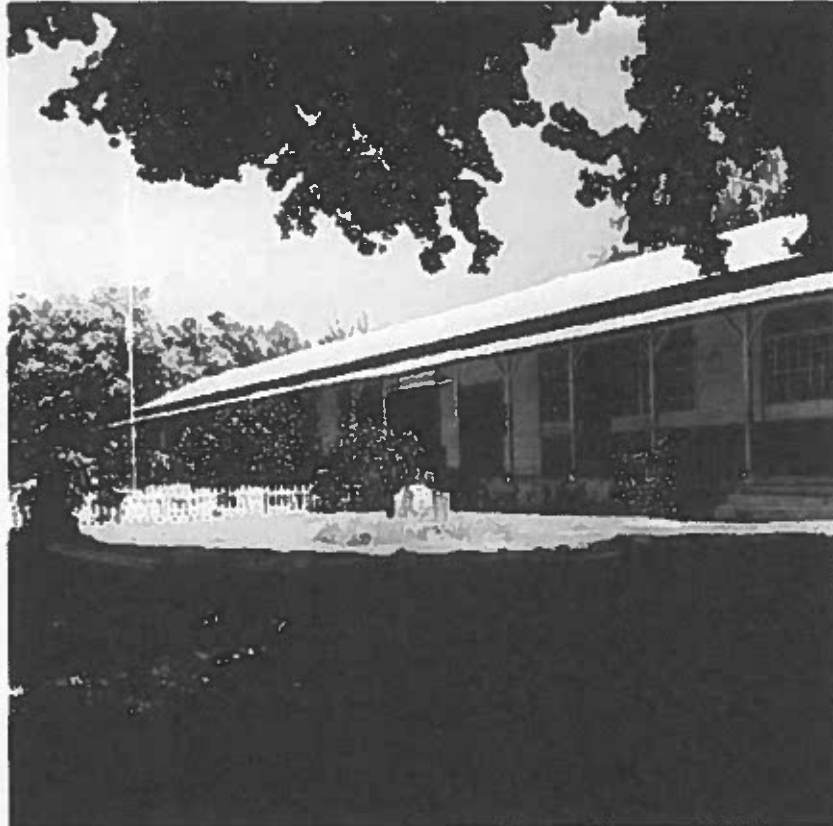


Figure 4-1 Chalan Kanoa School, first purpose-built school building, ca. 1950s (University of Hawaii, Manoa 2019)



Figure 4-2 Chalan Kanoa School after Typhoon Jean, ca. 1968 (Department of Public Affairs 2019)



Figure 4-3 Chalan Kanoa School after Typhoon Jean, ca. 1968 (University of Hawaii, Manoa 2019)



Figure 4-4 Fire at Chalan Kanoa School, 1972 (University of Hawaii, Manoa 2019)

5.0 FIELD INVESTIGATION

5.1 FIELD METHODS

An intensive pedestrian survey of the Project area was conducted on November 7, 2019. This site visit included an examination of the exterior of the buildings that comprise the William S. Reyes School campus which is located within the APE for Direct Effects. During the field survey, the buildings were analyzed, photographed, and recorded. The William S. Reyes campus was formally evaluated on a HPRI Form. The resulting form is included as Appendix A.

5.2 WILLIAM S. REYES ELEMENTARY SCHOOL

William S. Reyes School is comprised of 11 utilitarian vernacular style buildings and an outdoor stage constructed between ca. 1968 and 2000. Most of the buildings are one-story, with the exception of Building G which is two-stories. Many of the buildings on the campus were severely affected by the events of Super Typhoon Yutu in 2018, most notably the auditorium building which is no longer extant. The following buildings comprise the William S. Reyes School campus:



Figure 5-1 Building A, south and east elevations, facing northwest

- **Building A (Cafeteria):** Building A is a one-story reinforced concrete block utilitarian vernacular style building with a rectangular plan constructed in 2000. The building features a flat mansard roof with a parapet and decorative concrete exposed concrete beams. The east elevation features

entry doors centered on the elevation with hurricane shutters. The entry is flanked by two windows with hurricane shutters. A covered walkway extends from the elevation. The south elevation features two sets of entry doors with hurricane shutters and irregularly spaced windows with hurricane shutters. The west elevation features entry doors and windows with hurricane shutters. The north elevation features a window with hurricane shutters.



Figure S-2 Building B, north and west elevations, facing southeast

- **Building B:** Building B is a one-story reinforced concrete block utilitarian vernacular style building with a rectangular plan constructed in 1990. The building features a flat mansard roof with a parapet and decorative concrete exposed concrete beams. The south elevation features classroom doors and windows with hurricane shutters. The elevation also features regularly spaced square pilasters. The roof extends over the elevation forming a covered walkway supported by square pillars. The west elevation features no doors or fenestration. The north elevation features classroom doors and windows with hurricane shutters. The elevation also features regularly spaced square pilasters. The roof extends over the elevation forming a covered walkway supported by square pillars. The east elevation features no doors or fenestration.



Figure 5-3 Building C, east elevation, facing west

- Building C:** Building C is a one-story reinforced concrete block utilitarian vernacular style building with a rectangular plan constructed in 1997. The roof of the building is no longer extant due to damage from Super Typhoon Yutu but, based upon historic aerials and remaining material, it does appear that the roof was constructed of corrugated metal. The east elevation features an entrance door centered on the elevation accessed by an asphalt ramp, jalousie windows, and a bulletin board display case. Two detached square concrete block pillars suggest the roofline extended over the entryway prior to the destruction caused by Super Typhoon Yutu. The south elevation features entrance doors divided by windows that are currently covered with hurricane shutters. The west elevation features no fenestration or doors. The north elevation features entrance doors divided by windows that are currently covered with hurricane shutters.



Figure 5-4 Building D, north and west elevations, facing southeast

- **Building D:** Building D is a one-story reinforced concrete block utilitarian vernacular style building with a rectangular plan constructed in 1970. The building features a rectangular plan with a medium-pitched corrugated metal roof. The eaves extend to form a covered walkway with exposed concrete rafters. The building is separated into two section and joined in the Center by a covered walkway. The west elevation features entrance doors and windows with hurricane shutters and regularly spaced rectangular pilasters. The north elevation features no doors or fenestration on a mural depicting a kingfisher, beach, ocean, and palm trees. The east elevation features entrance doors and windows with hurricane shutters and regularly spaced rectangular pilasters. The south elevation features no doors or fenestration.



Figure 5-5 Building E, north and west elevations, facing southeast

- **Building E:** Building E is a one-story reinforced concrete block utilitarian vernacular style building with a rectangular plan constructed in 1970. The building features a rectangular plan with a medium-pitched corrugated metal roof. The eaves extend to form a covered walkway with exposed concrete rafters. The east elevation features regularly spaced pilasters and windows with metal shutters located on the upper portion of the elevation. The north elevation features no doors or fenestration. The west elevation features entrance doors, regularly spaced pilasters and windows with metal shutters located on the upper portion of the elevation. The south elevation features no doors or fenestration.



Figure S-6 Building F, south and west elevations, facing northeast

- **Building F:** Building F is a one-story reinforced concrete block utilitarian vernacular style building with a rectangular plan constructed in 1970. The west elevation features doors and windows covered in hurricane shutters and regularly spaced pilasters. The roof extends over the elevation to form a covered walkway supported by metal poles. The north elevation features no doors or fenestration and horizontal wood siding on the peak of the gable. The east elevation features doors, windows with hurricane shutters, and regularly spaced pilasters. The south elevation features no doors or fenestration and horizontal wood siding on the peak of the gable. The west elevation features doors, windows with hurricane shutters, and regularly spaced pilasters. The roof extends over the elevation to form a covered walkway supported by metal poles.

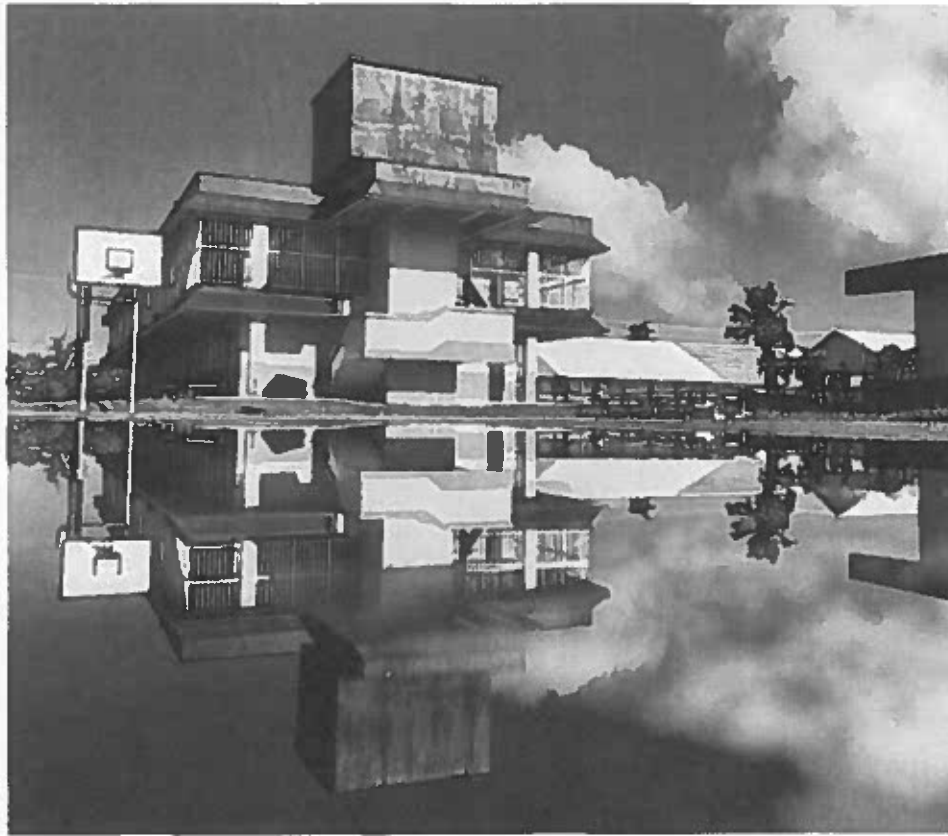


Figure 5-7 Building G, north and west elevations, facing southeast

- Building G:** Building G is a two-story reinforced concrete block utilitarian vernacular style building with a rectangular plan constructed in 1988. The building features a flat mansard roof with a parapet and decorative concrete exposed concrete beams. The north elevation features doors, windows with hurricane shutters, and regularly spaced pilasters on the first floor of the elevation. The second floor of the elevation features doors, windows with hurricane shutters, regularly spaced pilasters, and security/safety bars. The east elevation features a partially enclosed staircase that provides access to the second floor of the building. A shed-roof penthouse is located on the roof of the stairway enclosure which provides roof access from the stairs. The south elevation features doors, windows with hurricane shutters, and regularly spaced pilasters on the first floor of the elevation. The second floor of the elevation features doors, windows with hurricane shutters, regularly spaced pilasters, and security/safety bars. The west elevation features an open staircase. A flat-roof penthouse is located on the roof of the stairway.

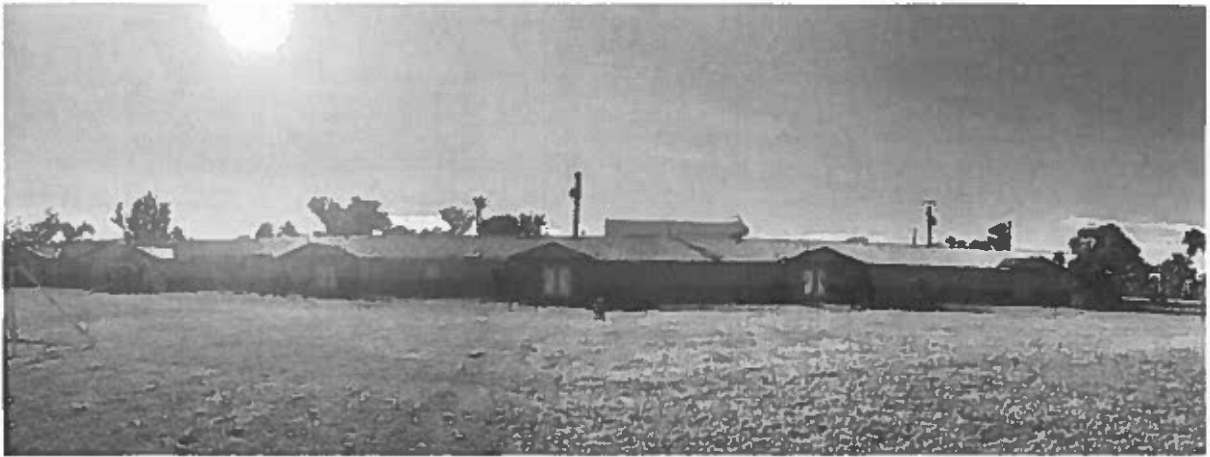


Figure 5-8 Building I, east elevation, facing west

- **Building I:** Building I is a one-story utilitarian vernacular style building with a rectangular plan constructed in 1998. The building is clad in composite siding. The building features a corrugated metal gable roof with cross gables over the entryway on the east elevation. The east elevation features five double-door entryways located beneath five gables supported by metal poles. The elevation also features regularly spaced windows with hurricane shutters. The south elevation features no doors or fenestration. The west elevation features regularly spaced windows with hurricane shutters. The north elevation features no doors or fenestration.



Figure 5-9 Old Stage, south and east elevations, facing northwest

- **Old Stage:** The Old Stage is a one-story utilitarian vernacular style building with a square plan constructed ca. 1968. The building features a corrugated metal composite gable and shed roof and panel siding with regularly spaced concrete block pilasters. The south elevation features entry doors and a double-hung window. The east elevation features an entry door accessed by concrete stairs and flanked by two windows covered with plywood. The north elevation features entry doors and a double-hung window. The west elevation features no doors or fenestration.



Figure 5-10 Stage, south and west elevation, facing northeast

- **Stage:** The Stage is a one-story vernacular utilitarian-style concrete outdoor stage ca. 1972. The building has a rectangular plan and a rounded roof supported by four tapered pillars with stylized capitals based on traditional Chamarro designs. The north elevation features a concrete wall that helps support the roof, the remainder of the elevations are open. The stage is accessed by concrete stairs on the west elevation and an access ramp on the east elevation.



Figure 5-11 Restroom, south and east elevations, facing northwest

- **Restroom Building (near Stage):** The Restroom Building is a one-story reinforced concrete block utilitarian vernacular style building with a rectangular plan constructed ca. 1972. The building features a flat roof. The east elevation features entrance doors and double-hung windows. The north, south, and west elevations each features a band of windows.



Figure 5-12 Restroom Building, north and east elevations, facing southwest

- **Restroom Building (near Building I):** The Restroom Building is a one-story vernacular utilitarian with a rectangular plan constructed in ca. 1968. The building is clad in composite siding. The building features a corrugated metal cross bale roof. The east elevation features a storage closet without a door flanked by two entrance doors and sliding windows. A gable extends over the elevation supported by metal poles. The south, west, and north elevations each feature windows.



Figure 5-13 Pumphouse, south and east elevations, facing northwest

- **Pumphouse:** The Pumphouse is a one-story vernacular utilitarian with a rectangular plan constructed in 2005. The building features a corrugated metal shed roof. The east elevation features a door. The south, west, and north elevations each feature no doors or fenestration.



Figure 5-14 Former location of Auditorium, Facing southeast

- **Auditorium:** The Auditorium is no longer extant.



Figure 5-15 Former location of Canteen, Facing southwest

- **Canteen:** The Canteen, which was originally constructed ca. 1968, is no longer extant.

5.2.1 National Register of Historic Places Evaluation

The following presents an assessment of the historical significance of William S. Reyes School by applying the procedure and criteria for the NRHP.

NRHP Criterion A: The buildings that comprise the William S. Reyes School do not collectively or individually meet NRHP Criterion A for association with events that have made a significant contribution to the broad patterns of our history. While William S. Reyes School is credited as the first school to operate on Saipan after the American invasion, no historic materials from that time period appear to be extant. Many of the extant buildings were constructed ca. 1968 after much of the original campus, which was comprised of repurposed Quonset huts, was destroyed by Typhoon Jean in 1968 and a fire in 1972. Research has yielded no information to suggest that the buildings that comprise the campus are collectively or individually specifically associated with any significant historical events. Therefore, the buildings that comprise William S. Reyes School are not recommended collectively or individually eligible for the NRHP under Criterion A.

NRHP Criterion B: The buildings that comprise the William S. Reyes School do not collectively or individually meet NRHP Criterion B for any direct associations with the productive lives of persons significant in our past. The school has been in continuous use since its construction as an educational facility and many students and faculty have utilized it over time, however; research has yielded no information to suggest that any persons of historical significance are specifically associated with the buildings that comprise the campus either collectively or individually. Therefore, the buildings that comprise William S. Reyes School are not recommended collectively or individually eligible for the NRHP under Criterion B.

NRHP Criterion C: The buildings that comprise the William S. Reyes School do not collectively or individually meet NRHP Criterion C for embodying the distinctive characteristics of a type, period, and method of construction, or as the work of an important creative individual, or as having high artistic value. The buildings that comprise the campus are unremarkable examples of utilitarian vernacular style buildings. The buildings are of concrete construction and is essentially similar to many other buildings constructed during the mid-twentieth century. The campus as a whole and the buildings individually do not represent any significant departure from standard design and construction practices or campus design. Therefore, the buildings that comprise William S. Reyes School are not recommended collectively or individually eligible for the NRHP under Criterion C.

NRHP Criterion D: buildings that comprise the William S. Reyes School do not collectively or individually meet NRHP Criterion D since the buildings and any subsurface archaeological material directly associated with them are unlikely to yield information important to history. However, the subsurface area under the buildings and in the surrounding area has been previously identified as archaeologically sensitive and is likely eligible under NRHP Criterion D. This is due to the likelihood of the presence of subsurface prehistoric and historic archaeological materials unrelated to the history of the building. Therefore, it is recommended that testing occur in order to better determine the archeological sensitivity of the area and/or archeological monitoring during all ground disturbance in the vicinity of the buildings.

William S. Reyes School, as a whole, is not recommended eligible for listing on the NRHP. Further, no individual buildings that comprise the William S. Reyes School are recommended individually eligible for the NRHP. As the buildings are recommended not eligible for the NRHP, no formal review of integrity was made. The campus is; however, located within a previously identified archaeologically sensitive area and the subsurface area is likely eligible under NRHP Criterion D for archaeological resources.

6.0 CONCLUSIONS AND MANAGEMENT RECOMMENDATIONS

William S. Reyes School was evaluated for historic significance by applying the criteria of the NRHP using data gathered during the pedestrian survey and information acquired through historical research. Based on a review of available historic research and the field evaluation, William S. Reyes School, as a whole, is not recommended eligible for listing on the NRHP. Further, no individual buildings that comprise the William S. Reyes School are recommended individually eligible for the NRHP. The campus and the buildings that comprise the campus, therefore, are not collectively or individually historic properties for the purposes of the NHPA. The campus is located within a previously identified archaeologically sensitive area and the subsurface area is likely eligible under NRHP Criterion D for archaeological resources.

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***Appendix A.
Commonwealth of the Northern
Mariana Islands Department of
Community and Cultural Affairs
Historic Preservation Office Historic
Properties Register Inventory Form***

**No Effect Determination Form for FEMA-Funded Projects
in California, Nevada, Arizona, and Hawaii
Review for Compliance with Endangered Species Act (ESA) and
Magnuson-Stevens Fishery Conservation and Management Act (MSA)**

No Effect Determination Form for FEMA-Funded Projects in CA, NV, AZ, and HI
Review for ESA and MSA Compliance

Instructions:

Instructional text is included in each cell. Text in brackets and red text provides examples. Once you have completed this form, convert it into a PDF document to be attached to ESA and MSA law reviews in EMIS.

If the proposed project is under another Federal agency's jurisdiction (e.g., U.S. Forest Service, National Park Service, Bureau of Land Management, Bureau of Reclamation, etc.) or another Federal agency is functioning as the Lead Federal Agency (e.g., U.S. Army Corps of Engineers), then there is no need to prepare this No Effect form for FEMA.

This form only applies to projects with a No Effect determination on federally listed species and/or Critical Habitat. If a No Effect determination cannot be made, proceed with the preparation of a Biological Assessment or a Not Likely to Adversely Affect Report for a formal or informal consultation, respectively, under Section 7 of the ESA on the proposed project.

Definitions:

Action Area: is defined as all areas to be affected directly or indirectly by the Federal action and not merely the immediate area involved in the action (50 CFR §402.02).

Essential Fish Habitat (EFH): is defined as waters and substrate necessary to complete the life cycle of species managed under a federal Fishery Management Plan. There is no EFH in Nevada and Arizona, therefore, EFH in this form is only applicable to projects in California and Hawaii.

Federally listed species: In this form, this term includes species listed or proposed to be listed as threatened or endangered under the ESA. This term does not include Candidate species, which are not legally protected under the ESA.

Physical and Biological Features (PBFs): Per 81 FR 7414, the PBFs are essential features to the conservation of the species and may require special management considerations or protection. PBFs were previously known as Primary Constituent Elements (PCEs) and are defined in the Federal Register for each species Critical Habitat designation.

Reviewer's Name and Date of Review:

Tyler Conaway 8/26/20

Disaster (DR) Number and Public Assistance (PA) Project Worksheet (PW) # or Hazard Mitigation Grant Program (HMGP) Grant Application #. For other FEMA Programs, include the grant number.

PA-09-MP-4404-PW-00177

Reference Number (letter code + numbers in PW, if applicable):

77519

Project Name:

William S. Reyes Elementary School

Subrecipient or Recipient:

CNMI Public School System

Location:

Saipan, CNMI (15.14174, 145.70338).

Description of Damage:

Typhoon Yutu 200 MPH + winds, and wind driven rain caused severe damage to school facilities

Description of Proposed Project:

Utilize force account resources or contracted services for the repair of Buildings B, D, E, F, G, I, the cafeteria, the maintenance building, and the basketball court; and reconstruction of campus-wide walkways, chain-link fencing and gates, the canteen building, and the water pump room at the William S. Reyes Elementary School. Specific repairs for Building B will include: a structural inspection; replacing gypsum board ceiling, floor tiles, electrical outlets, and light fixtures; prepping and painting interior walls. Specific repairs at Building D include removing and replacing roofing, metal ridge caps, tile flooring, and ceiling tiles. Specific repairs at Building E removing and replacing metal roofing, metal ridge caps, decking boards, ceiling tile, windows, and light fixtures. Specific repairs at Building F include removing and replacing metal roofing, roof decking, the gutter system, tile flooring, electrical fixtures, light fixtures, a suspended acoustic ceiling system, exterior floodlights, video surveillance cameras, and glass doors. The interior and partitioned walls will also be cleaned, disinfected, and repainted at the building. Specific repairs at the G include removing and replacing a bathroom door and metal bar window guards. Specific repairs at Building I include cleaning and prepping interior walls and exterior siding; removing and replacing metal roofing, the gutter system, a weather head and its components, cement siding on soffits and exterior walls, light fixtures, ceiling tiles and boards, doors, windows, hurricane shutters, floodlights, air conditioning units, and high vinyl resilient base. The covered walkway for the building will be completely replaced. Specific repairs for the cafeteria building include a structural inspection and removing and replacing ceiling tiles and tile flooring. Air conditioning units will be replaced throughout the campus of the school. Specific repairs for the maintenance building include removing and replacing corrugated metal roofing and damaged components of the roof truss framing. Specific repairs at the basketball court include removing and replacing a backboard and bleachers. Campus-wide free-standing covered walkways, chain link fences and gates, the Canteen Building, and the Water Pump Room, will all be demolished and replaced conforming with the pre-disaster design function, and capacity of the original structures. An approved mitigation proposal to replace the original windows at Building I with impact resistant windows has been added.

Based on the type of activities described in the scope of work (e.g., administrative, staff services, procurement of supplies or equipment, etc.), the proposed project would not result in any direct or indirect effects to any federally listed species, Critical Habitat, and EFH. Note: in this form, EFH only applies to California and Hawaii. Does this statement apply to the proposed project?

☐ **YES.** A No Effect determination applies to the proposed project, and no consultation with the U.S. Fish and Wildlife Service (USFWS) and National Marine Fisheries Service (NMFS) is required under the ESA. Please provide a summary of the No Effect determination in this cell. Then stop here. Review concluded.

☒ **NO.** Continue to fill out this form.

Is the proposed project located in a developed area within an urban setting and it has no potential to adversely affect, directly or indirectly, any federally listed species, Critical Habitat, and EFH? Note: in this form, EFH only applies to California and Hawaii.

☒ **YES.** A No Effect determination applies to the proposed project, and no consultation with the USFWS and NMFS is required under the ESA. **Please provide a summary of the No Effect determination in this cell. Then stop here. Review concluded.**

The proposed project occurs on a previously disturbed school campus in an urban area, will not destroy or adversely modify suitable habitat, and will not affect any other listed or proposed species under the jurisdiction of the US Fish and Wildlife Service or the National Marine Fisheries Service (the Services). It is therefore determined the proposed project would have "No Effect" on listed species and consultation with the Services under Section 7 of the Endangered Species Act is not required.

☐ **NO.** Continue to fill out this form.

Was a site visit conducted by a qualified Biologist (if applicable)?

☐ **NO.**

☐ **YES.** If a site visit was conducted by a qualified Biologist, insert date.

For projects in California, check the Biological Resources Datasets that were reviewed:

- ☐ Information for Planning and Consultation (IPaC) report
- ☐ NMFS Species List tool
- ☐ California Department of Fish and Wildlife's (CDFW) California Natural Diversity Database (CNDDB) search within 10 miles of the Action Area
- ☐ Designated/Proposed Critical Habitat under the USFWS & NMFS within 10 miles of the Action Area
- ☐ Additional Data
 - ☐ Northern Spotted Owl (NSOW) Database within 10 miles
 - ☐ Essential Fish Habitat (EFH) viewer
 - ☐ California Fish Passage Assessment (CalFish) Database
 - ☐ California Native Plant Society (CNPS)
 - ☐ CalFlora
 - ☐ National Wetlands Inventory (NWI)
 - ☐ National Hydrography Dataset (NHD)
 - ☐ California Wildlife Habitat Relationships (CWHR)
 - ☐ Other. If applicable, replace "Other" with name of source: NatureServe, eBird, AmphibiaWeb, etc.

List all the federally listed species identified in the biological resources datasets above. Provide common and scientific names.

Of the species identified in the biological resources datasets, which federally listed species need further consideration? Provide common and scientific names.

No Effect Determination Form for FEMA-Funded Projects in CA, NV, AZ, and HI
Review for ESA and MSA Compliance

Does Designated/Proposed Critical Habitat occur within 10 miles of the Action Area?

☐ NO.

☐ YES. If yes, list the Critical Habitat designations with direction and distance to the Action Area. If Critical Habitat overlaps with the Action Area, provide a brief description of where it is located within the Action Area and explain whether "Physical and Biological Features (PBFs)" of Critical Habitat for that species occur within the Action Area.

Is the Action Area within EFH? Note: in this form, EFH only applies to California and Hawaii.

☐ NO.

☐ YES. If yes, list the designated EFH.

For the proposed project, was coordination with a qualified Biologist conducted or was Technical Assistance with USFWS and/or NMFS staff completed?

☐ NO.

☐ YES. If yes, provide details and names.

Why will the proposed project result in No Effects to any federally listed species, their suitable habitat, Critical Habitat, and/or EFH? Note: in this form, EFH only applies to California and Hawaii.

RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-09-MP-4404-PW-00177

Title: 77519 - William S. Reyes Elementary School

NEPA DETERMINATION

Non Compliant Flag: No

EA Draft Date:

EA Final Date:

EA Public Notice Date:

EA Fensl

Level: CATEX

EIS Notice of Intent

EIS ROD Date:

Comment CAT E, 0% complete, CNMI Public School Systems, Saipan, CNMI (15.14174, 145.70338).

Utilize force account resources or contracted services for the repair of Buildings B, D, E, F, G, I, the cafeteria, the maintenance building, and the basketball court; and reconstruction of campus-wide walkways, chain-link fencing and gates, the canteen building, and the water pump room at the William S. Reyes Elementary School. Specific repairs for Building B will include: a structural inspection; replacing gypsum board ceiling, floor tiles, electrical outlets, and light fixtures; prepping and painting interior walls. Specific repairs at Building D include removing and replacing roofing, metal ridge caps, tile flooring, and ceiling tiles. Specific repairs at Building E removing and replacing metal roofing, metal ridge caps, decking boards, ceiling tile, windows, and light fixtures. Specific repairs at Building F include removing and replacing metal roofing, roof decking, the gutter system, tile flooring, electrical fixtures, light fixtures, a suspended acoustic ceiling system, exterior floodlights, video surveillance cameras, and glass doors. The interior and partitioned walls will also be cleaned, disinfected, and repainted at the building. Specific repairs at the G include removing and replacing a bathroom door and metal bar window guards. Specific repairs at Building I include cleaning and prepping interior walls and exterior siding; removing and replacing metal roofing, the gutter system, a weather head and its components, cement siding on soffits and exterior walls, light fixtures, ceiling tiles and boards, doors, windows, hurricane shutters, floodlights, air conditioning units, and high vinyl resilient base. The covered walkway for the building will be completely replaced. Specific repairs for the cafeteria building include a structural inspection and removing and replacing ceiling tiles and tile flooring. Air conditioning units will be replaced throughout the campus of the school. Specific repairs for the maintenance building include removing and replacing corrugated metal roofing and damaged components of the roof truss framing. Specific repairs at the basketball court include removing and replacing a backboard and bleachers. Campus-wide free-standing covered walkways, chain link fences and gates, the Canteen Building, and the Water Pump Room, will all be demolished and replaced conforming with the pre-disaster design function, and capacity of the original structures. No mitigation is proposed for this project.

This project has been determined to be Statutorily Excluded from NEPA review in accordance with Section 316 of the Stafford Act. Particular attention should be given to the project conditions before and during project implementation. Failure to comply with these conditions may jeopardize federal assistance including funding.

- tconawa1 - 08/27/2020 19:48:31 GMT

additional information

An approved mitigation proposal to replace the original windows at Building I with impact resistant windows has been added. The project is no longer statutorily excluded from NEPA review and this project has now been determined to be Categorically Excluded from the need to prepare either an Environmental Impact Statement or Environmental Assessment in accordance with FEMA Instruction 108-1-1 and DHS Instruction 023-01-001-01: Categorical Exclusion(s) N-7 has been applied. Particular attention should be given to the project conditions before and during project implementation. Failure to comply with these conditions may jeopardize federal assistance including funding. This action will not affect the other previous environmental/historic clearances. - tconawa1 - 03/30/2021 19:30:47 GMT

CATEX CATEGORIES

Catex Category Code

Description

Selected

*n7

(*n7) Federal Assistance for Structure and Facility Upgrades. Federal assistance for the reconstruction, elevation, retrofitting, upgrading to current codes and standards, and improvements of pre-existing facilities in existing developed areas with substantially completed infrastructure, when the immediate project area has already been disturbed, and when those actions do not alter basic functions, do not exceed capacity of other system components, or modify intended land

Yes

RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-09-MP-4404-PW-00177

Title: 77519 - William S. Reyes Elementary School

Catex Category Code	Description	Selected
	use. This category does not include actions within or affecting streams or stream banks or actions seaward of the limit of moderate wave action (or V zone when the limit of moderate wave action has not been identified).	

EXTRAORDINARY

Extraordinary Circumstance Code	Description	Selected ?
	No Extraordinary Circumstances were selected	

ENVIRONMENTAL LAW / EXECUTIVE ORDER

Environmental Law/ Executive Order	Status	Description	Comment
Clean Air Act (CAA)	Completed	Project is located in an attainment area - Review concluded	CNMI has no non-attainment areas for any criteria pollutant. The SOW associated with this PW is exempt from a conformity determination under the General Conformity Rule. - tconawa1 - 08/27/2020 19:57:15 GMT
Coastal Barrier Resources Act (CBRA)	Completed	Project is not on or connected to CBRA Unit or otherwise protected area - Review concluded	
Clean Water Act (CWA)	Completed	Project would not affect any water of the U.S. - Review concluded	
Coastal Zone Management Act (CZMA)	Completed	Project is located in a coastal zone area and/or affects the coastal zone	See Conditions. - tconawa1 - 08/27/2020 19:56:26 GMT
	Completed	State administering agency does not require consistency review - Review concluded	
Executive Order 11988 - Floodplains	Completed	No effect on floodplain/flood levels and project outside floodplain - Review concluded	Per Flood Insurance Rate Map (FIRM) panel 6900000045C, dated 4/3/2006, the project is located outside the Special Flood Hazard Area (100-year floodplain, base floodplain) and the activity does not adversely affect floodplain values. - tconawa1 - 08/27/2020 19:59:22 GMT
Executive Order 11990 - Wetlands	Completed	No effects on wetlands and project outside wetlands - Review concluded	Per the U.S./ Fish and Wildlife Service Wetland Mapper viewed on 8/26/2020, the project is located outside of wetlands and not likely to result in any potential direct impacts that will adversely affect wetlands. - tconawa1 - 08/27/2020 19:59:35 GMT

RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-09-MP-4404-PW-00177

Title: 77519 - Wilkam S. Reyes Elementary School

Environmental Law/ Executive Order	Status	Description	Comment
Executive Order 12896 - Environmental Justice for Low Income and Minority Populations	Completed	Low income or minority population in or near project area	The Undertakings associated with this project will result in a beneficial impact to all populations. - tconawa1 - 08/27/2020 20:00:25 GMT
	Completed	No disproportionately high and adverse impact on low income or minority population - Review concluded	
Endangered Species Act (ESA)	Completed	Listed species and/or designated critical habitat present in areas affected directly or indirectly by the federal action	The proposed project will not destroy or adversely modify suitable habitat and will not affect any other listed or proposed species under the jurisdiction of the US Fish and Wildlife Service or the National Marine Fisheries Service (the Services). It is therefore determined the proposed project would have <u>No Effect</u> on listed species and consultation with the Services under Section 7 of the Endangered Species Act is not required. See attached No Effect Determination. - tconawa1 - 08/27/2020 19:52:20 GMT
	Completed	No effect to species or designated critical habitat (See comments for justification) - Review concluded	
Farmland Protection Policy Act (FPPA)	Completed	Project does not affect designated prime or unique farmland - Review concluded	
Fish and Wildlife Coordination Act (FWCA)	Completed	Project does not affect, control, or modify a waterway/body of water - Review concluded	
Migratory Bird Treaty Act (MBTA)	Completed	Project located within a flyway zone	The project is located in the West Pacific Flyway. However, based on the nature of activities, the SOW associated with this PW does not have the potential to take migratory birds. - tconawa1 - 08/27/2020 19:58:44 GMT
	Completed	Project does not have potential to take migratory birds - Review concluded	
Magnuson-Stevens Fishery Conservation and Management Act (MSA)	Completed	Project not located in or near Essential Fish Habitat - Review concluded	
National Historic Preservation Act (NHPA)	Completed	Applicable executed Programmatic Agreement (enter date in comments)	The Undertaking was reviewed by Cindy Thomack, who meets the applicable Secretary's Professional Qualification in accordance with Stipulation I.B.1.a of the Programmatic Agreement among FEMA, CNMI SHPO, and CNMI HSEM (September 1, 2015). The Undertaking complies with

RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-09-MP-4404-PW-00177

Title: 77519 - William S. Reyes Elementary School

Environmental Law/ Executive Order	Status	Description	Comment
			<p>Tier II Programmatic Allowance II.A.2(b) (In-kind repair, replacements, and minor upgrades to landscaping elements), II.B.1(a) (In-kind repair and replacement of floors, walls, stairs, ceilings) II.B.3(a) (In-kind repair or replacement, or limited upgrading of interior utility systems including lighting), II.B.3(d) II.B.4(a) (In-kind repair or replacement of damaged or severely deteriorated windows and window frames, shutters, storm shutters, doors and door frames) II.B.6(b) (In-kind repair, replacement, or strengthening of roofing, rafters, fascia, soffits, gutters, verge boards, leader boxes, downspouts, or other damaged roof system components) II.B.11(a) (Activities related to the elevation, demolition and/or reconstruction of buildings or structures less than 45 years of age) (Appendix B) of the Agreement. The Undertaking also complies with Tier 1 Programmatic Allowance I.B.1 (Repair or retrofit of buildings and structures less than 45 years old) (Appendix 8) of the Agreement. Thus, the Undertaking does not require SHPO review or notification per Stipulation II.A.1 of the Agreement. See conditions. - tconawa1 - 10/02/2020 01:17:38 GMT***ABOVE COMMENT IS VOID AND NO LONGER APPLICABLE***FEMA consulted with the State Historic Preservation Officer (SHPO) on 10/5/2020 and made a finding of no historic properties affected in accordance with Stipulation II.C of the Programmatic Agreement among the Federal Emergency Management Agency (FEMA), State Historic Preservation Office (SHPO), and CNMI Office of Homeland Security and Emergency Management (signed September 2, 2015). SHPO has provided no objection to the determination of no historic properties affected and Section 106 Review is concluded in accordance with Stipulation II.C.4.d of the Programmatic Agreement. - tconawa1 - 02/03/2021 23:41:33 GMTSee conditions and attached letters. - tconawa1 - 02/03/2021 23:49:39 GMT</p>
	Completed	Building or structure 50 years or older or listed on the National Register in the project area and activity not exempt from review	
	Completed	Determination of No Historic Properties Affected (FEMA finding/SHPO/THPO concurrence attached) - Review concluded	

20:18:57

RECORD OF ENVIRONMENTAL CONSIDERATION (REC)

Project PA-09-MP-4404-PW-00177

Title: 77519 - William S. Reyes Elementary School

Environmental Law/ Executive Order	Status	Description	Comment
	Completed	Project affects only previously disturbed ground - Review concluded	
Resource Conservation and Recovery Act, aka Solid Waste Disposal Act (RCRA)	Completed	Review concluded	see conditions. - tconawa1 - 03/30/2021 22:12:57 GMT
Wild and Scenic Rivers Act (WSR)	Completed	Project is not along and does not affect Wild and Scenic River - Review concluded	

CONDITIONS

Special Conditions required on Implementation of Projects:

The applicant is responsible for contacting the CNMI Bureau of Environmental and Coastal Quality to determine if any necessary coastal permitting and Federal Consistency Certification is required.

Source of condition: Coastal Zone Management Act (CZMA)

Monitoring Required: No

All other debris, including but not limited to: construction and demolition debris, household items, exposed sandbags, sand, mud, silt, gravel, rocks, boulders, vehicle wreckage, and hazardous materials including electrical transformers must be taken to an appropriately licensed/permited landfill, waste facility or spoil site.

Source of condition: National Historic Preservation Act (NHPA)

Monitoring Required: Yes

If any asbestos containing materials, lead-based paint or items contaminated with these products, are known to be present and/or found during repair activities, the Sub-Grantee must comply with all Federal, State and Local abatement, disposal and reporting requirements under National Emission Standard for Hazardous Air Pollutants (NESHAP).

Source of condition: Resource Conservation and Recovery Act, aka Solid Waste Disposal Act (RCRA)

Monitoring Required: Yes

Standard Conditions:

Any change to the approved scope of work will require re-evaluation for compliance with NEPA and other Laws and Executive Orders.

This review does not address all federal, state and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state and local environmental permits and clearances may jeopardize federal funding.

If ground disturbing activities occur during construction, applicant will monitor ground disturbance and if any potential archeological resources are discovered, will immediately cease construction in that area and notify the State and FEMA.

Department of Homeland Security Federal Emergency Management Agency

General Info

Project #	77519	Project Type	Specialized
Project Category	E - Buildings and Equipment	Applicant	CNMI Public School System (000-UVR1C-00)
Project Title	William S. Reyes Elementary School	Event	4404DR-CNMI (4404DR)

Damage Description and Dimensions

The Disaster # 4404DR, which occurred between 10/24/2018 and 10/26/2018, caused:

Auditorium and Building C are not included in this campus project rather these buildings will be in a separate 428 Project

Damage #222923; William S. Reyes Elementary School

THIS PROJECT IS TO BE FUNDED AT 90% FEDERAL COST SHARE

General Facility Information:

- **Facility Type:** Building
- **Building Type:** School (Elementary)
- **Facility:** William S. Reyes
- **Facility Description:** 39 Classrooms, 5 Bathrooms, 2 Maintenance Facilities, 1 Library, 1 Office, 1 Canteen, 1 Recreational Facility, 1 Water Control Shed
- **Approx. Year Built:** 1965
- **GPS Latitude/Longitude:** 15.14174, 145.70338
- **Number of Stories:** 2

General Damage Information:

- **Date Damaged:** 10/24/2018
- **Cause of Damage:** Typhoon Yutu 200 MPH + winds, and wind driven rain caused sever damage to school facilities

Building Damage:

Building B :

- Building Exterior, 1 each of Concrete Roof (Extent of Damage Unknown), 223 FT long x 31 FT wide, Category 5 Super Typhoon Winds 200 + Mph, caused roof mounted AC units to crack portions of roof., 0% work completed.
- Building Interior, 13,826 SF of Cement Board Drop Ceiling , 44.6 FT long x 31 FT wide x 0.25 IN deep, Water Intrusion from roof leak , 0% work completed.
- Building Interior, 576 each of Vinyl Flooring Tiles, 12 IN long x 12 IN wide, Wind Driven Rain and leaks through broken A/C units, 0% work completed.
- Building Interior, 812.8 SF of Wall Damages (Strip and Repaint), 101.6 FT long x 8 FT high, Wind Driven Rain, 0% work completed.
- Building Interior, 10 each of Electrical Outlets / Receptacles, 120 Volt, Wind Driven Rain, 0% work completed.
- Building Interior, 10 each of Multi-Volt 120-277V Florescent Lights and Fixtures , 120 Volt,

Wind Driven Rain , 0% work completed.

Building D:

- Building Exterior, 360 SF of Corrugated Tin Roof Section 1 (Classrooms 1 and 2), 64ft L X 31ft W X 6/12 Pitch, Typhoon Force Winds, 0% work completed.
- Building Exterior, 252 SF of Corrugated Tin Roof Section 2 (Classroom 3,4,& 5), 102ft L X 31ft W X 6/12 Pitch, Typhoon Force Wind 200 + MPH, 0% work completed.
- Building Exterior, Section 1 Tin Ridge-cap , Ridge Cap 64ft Long X (6 inch X 6 inch), Typhoon Force Winds 200+ MPH, 0% work completed.
- Building Exterior, Tin Roof Ridge-cap, 102ft L X (6 inch X 6 inch), Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Interior, 1,984 SF of Vinyl Flooring (12inch X 12 inch) tiles, 64 FT long x 31 FT wide, Wind Driven Rain and Water Intrusion, 0% work completed.
- Building Interior, 5,146 SF of Vinyl flooring sections (50% of Section 1 and 2 combined contains 5 Classrooms) had damaged flooring tiles, 83 FT long x 31 FT wide, Wind Driven Rain and Roof Leaks, 0% work completed.
- Building Interior, 40 each of Acoustic Ceiling Tiles , 24 IN long x 36 IN wide, Typhoon Force Winds 200+ MPH Winds and Wind Driven Rain, 0% work completed.

Building E Library and Office:

- Building Exterior, 4,506 SF of Corrugated Tin Roof, 130 FT X 31 FT W X 6/12 Pitch, Typhoon Force Winds 200+ MPH, 0% work completed.
- Building Exterior, 13 each of Tin Ridge Cap , 10 feet Long X 14 inch Wide, Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, 117 each of Tongue and Groove Wood Decking , 10 FT long x 6 IN wide x 2 IN thick, Typhoon Force Winds, 0% work completed.
- Building Interior, 50 each of Acoustic Ceiling Tiles (Library), 24 IN long x 24 IN wide, Typhoon Force Winds and Roofs Leaks, 0% work completed.
- Building Interior, 26 each of Plywood Drop Ceiling Office (Back Office), 8 FT long x 4 FT high x 0.75 IN thick, Typhoon Force Winds and Roof Leaks, 0% work completed.
- Building Interior, 3 each of Plexiglas Windows, 3 FT long x 4 FT wide, Wind Driven Rain Typhoon Force Winds, 0% work completed.
- Building Interior, 24 each of Ceiling Lighting (Extent of Damage Unknown No Power During Inspection), 2 FT long x 4 FT wide, Wind Driven Rain and Ceiling Leaks, 0% work completed.
- Building Interior, 100 each of Acoustic Ceiling Tiles (Office), 24 IN long x 24 IN wide, Wind Driven Rain and Roof Leak, 0% work completed.

Building F:

- Building Exterior, 6,120 SF of Corrugated Tin Roof, 136 ft L X 45 ft W X 6/12 Pitch , Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, 2,325 SF of Tongue and Groove Decking, 75 FT long x 31 FT wide, Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, Gutter System, 260 FT long, Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Interior, 4,030 SF of Vinyl Flooring, 130 FT long x 31 FT wide, Wind Driven Rains and Roof Leaks , 0% work completed.
- Building Interior, 50 each of Electrical , 120 Volt, Wind Driven Rain Typhoon Force Winds, 0% work completed.
- Building Interior, 1 each of Acoustic Drop Ceiling lighting, 120 Volt, Replace all based on 4030 SQFT - damaged Wind Driven Rain Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Interior, 4,030 SF of Acoustic Drop Ceiling System , 130 FT long x 31 FT wide, Wind Driven Rains and Roof Leaks , 0% work completed.
- Building Interior, 1 each of Interior Paint approx 4000 SQFT of interior perimeter and partitioned walls; clean / mold remediation / paint, Wind Driven Rains and Roof Leaks , 0% work completed.

Building G:

- Building Exterior, 1 each of Steel Bathroom Door, 38 IN wide x 6.66 FT high, Typhoon Force Winds, 0% work completed.
- Building Exterior, 11 each of Aluminum Railing , 4.5 FT wide x 7.5 FT high, Typhoon Force

Winds 200 + MPH, 0% work completed.

Building I:

- Building Exterior, 12,000 SF of Corrugated Tin Roof - , 300 FT long x 40 FT wide, 100% destroyed – sections missing or fasteners uplifted due to Typhoon Force Winds 200+ MPH, 0% work completed.
- Building Exterior, Gutter System - 5 IN AL, 600 FT long, Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, 1 each of weatherhead and breaker panels w breakers and branch circuit - 3 panels approx 450 AMP service, 100% destroyed – weatherhead and wires pulled, 0% work completed.
- Building Exterior, 1 each of Soffit - 5/8 IN thk cement board - around perimeter of building - 3000 SQFT, damaged by Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, 1 each of Exterior Walls - 5/8 IN thk cement board - approx 400 SQFT - , damaged by flying debris - holes punched by Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, 1 each of Exterior Walls clean / paint 6900 SQFT , pitting, staining, surface damage of outside walls damaged by Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Interior, 120 each of interior lighting - 2 x 4 florescent fixtures mounted on ceiling - 12 per classroom , Wind Driven Rains and Roof Leaks , 0% work completed.
- Building Interior, 9,000 SF of Cement Board Ceiling 5/8 thk mounted on metal ceiling framing, 300 FT long x 30 FT wide, Wind Driven Rains and Roof Leaks , 0% work completed.
- Building Interior, 5 each of exterior doors - 3 ft x 7 ft opening - aluminum w small glass panel and door closer, damaged due to flying debris Wind Driven Rains and Roof Leaks , 0% work completed.
- Building Interior, 5 each of windows 3 ft x 6 ft slider, damaged due to flying debris Wind Driven Rains and Roof Leaks , 0% work completed.
- Building Interior, 5 each of hurricane accordion shutters 4 ft x 8 ft, damaged due to flying debris Wind Driven Rains and Roof Leaks , 0% work completed.
- Building Interior, 1 each of Interior Walls mold remediation / clean / paint 12000 SQFT ten (10) classrooms, pitting, staining, surface damage of walls damaged by Typhoon Force Winds 200 + MPH, 0% work completed.

Building I Covered Walkway:

- Building Exterior, 2,212.5 SF of Corrugated Tin and Wood Truss Covered Walkway , 295 FT long x 7.5 FT wide, Typhoons Force Winds 200+ MPH, 0% work completed.
- Building Exterior, 15 each of Concrete Asbestos Support Beams , 8 FT long x 6 IN in diameter, Typhoons Force Winds 200+ MPH, 0% work completed.

Building I South Bathrooms:

- Building Interior, 1 each of Electrical system for bathroom approx 6 receptacles and 2 switches and branch circuit - 900 SQFT area , Wind Driven Rains and Roof Leaks , 0% work completed.
- Building Interior, 900 SF of Roofing - corrugated steel , 30 FT long x 30 FT wide, Wind Driven Rains and Roof Leaks , 0% work completed.
- Building Interior, 12 each of Lighting - approx 12 Florentine 2 x 4 fixtures 2 bulb , Wind Driven Rains and Roof Leaks , 0% work completed.

Cafeteria:

- Building Exterior, 2,800 SF of Concrete Roof (Extent of Damage Unknown), 70 FT long x 40 FT wide, Typhoon Force Winds 200 + MPH , 0% work completed.
- Building Interior, 420 SF of Ceiling Tiles 24 inch X 24 inch , 35 FT long x 12 FT wide, Wind Driven Rain, 0% work completed.
- Building Interior, 420 SF of Vinyl Flooring Tiles, 35 FT long x 12 FT wide, Wind Driven Rain, 0% work completed.

Campus Wide:

- Building Exterior, 1 each of Multiple and Various Air Condition Units (See attached spreadsheet for specific info on location and BTUs), Units were damaged by flying debris or blown away or off the mounting brackets from Typhoon Force Winds., 0% work completed.
- Building Exterior, Covered Walkways Corrugated Tin Roofing Wood Truss, 6ft Wide X 335.5

- Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, 45 each of Concrete Block Support Pillars , 16 IN long x 6 IN wide x 8 FT high, Typhoon Force Winds 200 + MPH, 0% work completed.
- Exterior Site, 1 each of Perimeter Chain Link Fencing (Post every 10ft, 6ft Tall) 6 Double Gates and 8 Single Gates, 2,567 FT long, Typhoon Force Winds 200 + MPH, 0% work completed.

Canteen:

- Building Exterior, 168 SF of Corrugated Metal Roof, 12 FT long x 14 FT wide, Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, 168 SF of Wooden Truss, 12 FT long x 14 FT wide, Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, 1 each of 4 Treated Wood Double Walls 2 in X 4 in (8 ft Tall), 52 perimeter feet, Typhoon Force Winds 200 + MPH, 0% work completed.

Maintenance Building:

- Building Exterior, 1,064 SF of Corrugated Tin Roof , 38 FT long x 28 FT wide, Typhoon Force Winds 200+ MPH, 0% work completed.
- Building Exterior, 1,064 SF of Wooden Truss , 38 FT long x 28 FT wide, Typhoon Force Winds 200+ MPH, 0% work completed.

Recreational Facilities:

- Building Exterior, 1 each of Wooden Basketball Backboard, 5 FT long x 4 FT high, Typhoon Force Winds, 0% work completed.
- Building Exterior, 2 each of Aluminum 3 Row Bench, 15 FT long, Typhoon Force Winds 200 + MPH, 0% work completed.

Water Pump Room:

- Building Exterior, 42 SF of Corrugated Metal Roof, 7 FT long x 6 FT wide, Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, 1 each of Wood Door, 36 IN wide x 80 IN high, Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, 1 each of Concrete Walls, 7 FT long x 7.66 FT high x 8 IN thick, Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, 1 each of Concrete Walls, 7 FT long x 7.66 FT high x 8 IN thick, Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, 1 each of Concrete Walls, 6 FT long x 7.66 FT high x 8 IN thick, Typhoon Force Winds 200 + MPH, 0% work completed.
- Building Exterior, 1 each of Concrete Walls, 6 FT long x 7.66 FT high x 8 IN thick, Typhoon Force Winds 200 + MPH, 0% work completed.
- Contents, 1 each of H2OE-TO/WaterWorker/515-0010-16215 14 Gallon Water Tank , Typhoon Force Winds 200 + MPH, 0% work completed.
- Contents, 2 each of Daytoo Jet Pump Meter Water Pump 2HP, Typhoon Force Winds 200 + MPH, 0% work completed.
- Contents, 1 each of Breaker and Safety Switch, Typhoon Force Winds 200 + MPH, 0% work completed.

Building B 5 Classrooms Dimensions - 29' 1' W X 31' 7" L

Building D 2 Classrooms - 29' 1' W X 31' 7" L

Library - 30' 10" W X 59' 4" L

Office - 30' 10" W X 59' 4" L

Building F 4 Classrooms - 31' W X 29' L

Building I 10 Classroom - 29' 3" W X 29' 1" L

Final Scope

222923 William S. Reyes Elementary School

Project Summary

This project includes repairs of the following components of the William S Reyes Elementary School:

- Building B
- Building D
- Building E Library and Office
- Building F
- Building G
- Building I including the attached covered walkway
- Building I South Bathrooms
- The Cafeteria
- The Maintenance Building
- Repairs to the Basketball Court (backboard and bleachers)

This project also includes the replacement of the following structures that were evaluated under the 50% Repair/Replacement Rule and found to be eligible for replacement:

- The Campus Wide Free-Standing Covered Walkways
- Campus-Wide Chain Link Fence and Gates
- The Canteen Building
- The Water Pump Room

Work to be Completed

The Applicant will use contract services to restore the William S. Reyes Elementary School to the pre-disaster design, function, and capacity, within the existing footprint, and in accordance with current codes and standards.

Building B:

Repair Estimate Scope of Work (SOW)

- A. Structural inspection of the concrete roof to determine if it was damaged by the typhoon event.
- B. Remove and replace 13,826 SF of gypsum board ceiling.
- C. Remove and replace 576 each of 12" x 12" vinyl composition Floor tiles.

- D. Prep and paint 812.8 square feet of interior walls.
- E. Remove and replace 10 each electrical duplex outlets/receptacles.
- F. Remove and replace 10 each 2' x 4', 4-bulb florescent lights fixtures

Building D:

Repair Estimate Scope of Work (SOW)

- A. Remove and replace 360 square feet of corrugated metal roofing at classrooms 1 and 2.
- B. Remove and replace 360 square feet of corrugated metal roofing at classrooms 3, 4, and 5.
- C. Remove and replace 64 linear feet of sheet metal ridge cap x 12 inches wide.
- D. Remove and replace 102 linear feet of sheet metal ridge cap x 12 inches wide.
- E. Remove and replace 1,984 square feet of 12" x 12" vinyl composition tile flooring.
- F. Remove and replace 5,146 square feet of 12" x 12" vinyl composition tile flooring.
- G. Remove and replace 40 each 24" x 48" suspended acoustical ceiling tiles.

Building E Library and Office:

Repair Estimate Scope of Work (SOW)

- A. Remove and replace 4,506 square feet of corrugated metal roofing.
- B. Remove and replace 13 each 14-inch wide sheet metal ridge cap x 10 feet long.
- C. Remove and replace 117 each 6-inch wide wood tongue and groove roof decking boards x 10 feet long.
- D. Remove and replace 50 each 24" x 24" suspended acoustical ceiling tiles in the library.
- E. Remove and replace 26 each 4' x 8' cloth faced fiberglass acoustical ceiling boards in the back office.
- F. Remove and replace 3 each 3' x 4' Plexiglas windows.
- G. Remove and replace 24 each 2' x 4' suspended fluorescent light fixtures.
- H. Remove and replace 100 each 24" x 24" Suspended acoustical ceiling tiles.

Building F:

50% Repair Replacement Rule

Building F was evaluated for replacement under the "50% Repair/Replacement Rule" and found to be eligible for repairs only (see Project Note 1): \$223,219.67 repair cost / \$625,308.78 replacement cost = 35.70%.

Repair Estimate Scope of Work (SOW)

- A. Remove and replace 6,120 square feet of corrugated metal roofing.
- B. Remove and replace 2,325 square feet of tongue and groove roof decking.
- C. Remove and replace 260 linear feet of roof gutter system.

- D. Remove and replace 4,030 square feet of vinyl composition tile flooring.
- E. Remove and replace 50 each electrical duplex receptacles and light switches.
- F. Remove and replace suspended ceiling fluorescent light fixtures for the 4,030 square foot, four classroom building.
- G. Remove and replace 4,030 square feet of suspended acoustical ceiling system.
- H. Clean, apply disinfectant and anti-microbial prep, and paint 4,000 square feet of interior perimeter and partitioned walls.
- I. Remove and replace 5 each emergency lighting units.
- J. Remove and replace 6 each exterior floodlights.
- K. Remove and replace 3 each video surveillance cameras.
- L. Remove and replace 6 each aluminum and glass doors.
- M. Remove and replace 900 square feet of wood partitions with 5/8" fire rated gypsum each face.

Building G:

Repair Estimate: Scope of Work (SOW)

- A. Remove and replace 1 each 38-inch wide x 6.66 feet high Steel Bathroom Door.
- B. Remove and replace 11 each 4.5 feet wide x 7.5 feet high metal bar window guards.

Building I:

50% Repair Replacement Rule

Building I was evaluated for replacement under the "50% Repair Replacement Rule" and found to be eligible for repairs only (see Project Note 1). \$464,979.92 repair cost / \$974,979.71 replacement cost = 47.69%.

Repair Estimate: Scope of Work (SOW)

- A. Remove and replace 12,000 square feet of corrugated metal roofing.
- B. Remove and replace 600 linear feet of 5-inch aluminum gutter system.
- C. Remove and replace 1 each weather head and breaker panels with breakers and branch circuit - 3 panels approximately 450 AMP service.
- D. Remove and replace 3,000 square feet of fiber cement siding at perimeter soffits.
- E. Remove and replace 400 square feet of fiber cement siding at the exterior walls.
- F. Clean, prep, and paint 6,900 square feet of exterior siding.
- G. Remove and replace 120 each 2' x 4' surface mounted fluorescent light fixtures.
- H. Remove and replace 9,000 square feet of 5/8-inch thick gypsum board ceiling mounted on metal ceiling framing.
- I. Remove and replace 5 each 3 ft x 7 ft metal exterior doors with small glass vision lite and door closers.
- J. Remove and replace 5 each 3 ft x 6 ft sliding glass windows.
- K. Remove and replace 5 each 4 ft x 8 ft accordion hurricane shutters.
- L. Clean, apply disinfectant and anti-microbial agents, prep and paint 12,000 square feet of interior walls.

- M. Remove and replace 4 each exterior floodlights.
- N. Remove and replace 9,000 square feet of vinyl composition tile.
- O. Remove and replace 1,200 linear feet of 1/8" x 4" high vinyl resilient base.
- P. Remove and replace 10 each 2.5 ton, 24,000 BTU air conditioning units.

Building 1 Covered Walkway:

Repair Estimate: Scope of Work (SOW)

- A. Replace 2,212.5 square feet of wood framing and corrugated metal roofing at the covered walkway canopies.
- B. Replace 15 each 6-inch diameter concrete asbestos pipe columns x 8 feet long.

Building 1 South Bathrooms:

Repair Estimate: Scope of Work (SOW)

- A. Remove and replace 1 each branch electrical circuit, 6 duplex receptacles and 2 switches for the 900 square foot restrooms.
- B. Remove and replace 900 square feet of corrugated metal roofing.
- C. Remove and replace 12 each 2' x 4', 2-bulb fluorescent light fixtures.

Cafeteria:

Repair Estimate: Scope of Work (SOW)

- A. Structural inspection of the 2,800 square foot concrete roof to determine if it was damaged by the typhoon event.
- B. Remove and replace 420 square feet of 24" x 24" suspended acoustical ceiling tiles.
- C. Remove and replace 420 square feet of vinyl composition tile flooring.

Campus Wide Air Conditioning Units:

Repair Estimate: Scope of Work (SOW)

- A. Remove and replace 11 each split type 24,000 BTU air conditioning units at building B, 7 each split type 24,000 BTU air conditioning units at building B, 1 each split type 24,000 BTU air conditioning units at building G, 1 each 64,000 BTU ducted air conditioning units at the Cafeteria, and 1 each 64,000 BTU ducted air conditioning units at the Library.

Campus Wide Free-Standing Covered Walkways

50% Repair Replacement Rule

The free-standing covered walkways were evaluated for replacement under the "50% Repair Replacement Rule" and found to be eligible for replacement (see Project Note 1): \$80,696.44 repair cost / \$96,906.59 replacement cost = 83.27%

Repair Estimate: Scope of Work (SOW)

- A. Replace the wood truss roof framing and 3,355 square feet of corrugated metal roofing at the 6-foot wide x 335.5-foot long free-standing covered walkways.

- B. Replace 45 each 8" x 16" CMU columns x 8 feet high at the free-standing covered walkways

Replacement Estimate: Scope of Work (SOW)

- A. Demolish and replace 335.5 linear feet of 6-foot wide concrete sidewalks and wood framed canopies with corrugated metal roofing and concrete block columns with new covered canopies conforming with the pre-disaster design, function, and capacity of the covered walkways, within the existing footprint, and conforming to current codes and standards.

Campus Wide Perimeter Chain Link Fence and Gates

Repair Estimate: Scope of Work (SOW)

- A. Remove and replace 2,567 linear feet of 6-foot high chain link fencing with posts at 10 feet on center and 6 double gates and 8 single gates.

Canteen:

50% Repair/Replacement Rule

The Canteen building was evaluated for replacement under the "50% Repair/Replacement Rule" and found to be eligible for replacement (see Project Note 1): \$10,409.45 repair cost / \$13,340.76 replacement cost = 78.03%

Repair Estimate: Scope of Work (SOW)

- A. Replace 168 square feet of corrugated metal Roofing
B. Replace 168 square feet of wood roof framing.
C. Replace 52 linear feet of 2x4 wood exterior walls x 8 feet high.

Replacement Estimate: Scope of Work (SOW)

- A. Demolish the slab on grade and footings and replace the 168 square foot wood framed Canteen building with a new building conforming to the pre-disaster design, function, and capacity of the Canteen building, within the existing footprint, and in accordance with current codes and standards.

Maintenance Building:

- A. Remove and replace 1,064 square feet of corrugated metal roofing.
B. Remove and replace damaged components of the wood roof truss framing at the 1,064 square foot roof.

Recreational Facilities:

Repair Estimate: Scope of Work (SOW)

- A. Remove and replace 1 each 5' x 4' of wooden basketball backboard.
B. Remove and replace 2 each aluminum 3 row bench x 15 feet long bleachers.

Water Pump Room:

50% Repair/Replacement Rule

The water pump room building was evaluated for replacement under the "50% Repair/Replacement Rule" and found to be eligible for replacement (see Project Note 1): \$12,206.97 repair cost / \$19,697.72 replacement cost = 61.97%

Repair Estimate: Scope of Work (SOW)

- A. Replace 42 square feet of corrugated metal roofing
- B. Replace 1 each 3' x 6'-8" wood door
- C. Repair spalls in the 7 foot long x 7.66 foot high x 8-inch thick concrete wall.
- D. Repair spalls in the 7 foot long x 7.66 foot high x 8-inch thick concrete wall.
- E. Repair spalls in the 6 foot long x 7.66 foot high x 8-inch thick concrete wall.
- F. Repair spalls in the 6 foot long x 7.66 foot high x 8-inch thick concrete wall.
- G. Remove and replace 1 each 14 gallon water pressure tank.
- H. Remove and replace 2 each 2 HP Dayton jet water pumps.
- I. Remove and replace 1 each of breaker and safety switch

Replacement Estimate: Scope of Work (SOW)

- A. Demolish and replace 42 square foot pump room and equipment with a new pump room building and equipment conforming with the pre-disaster design, function, and capacity of the existing pump room, within the school grounds, and in accordance with current codes and standards.

Summary of Costs

Following is a summary of the CEF costs for each component of this project of the school facilities:

Building B Repairs: \$ 346,597.00

Building D Repairs: \$ 94,780.00

Building E, Library and Office Repairs: \$ 112,689.00

Building F Repairs: \$ 371,665.00

Building G Repairs: \$ 40,217.00

Building I (including the attached covered walkway) Repairs: \$ 774,200.00

Building I South Bathroom Repairs: \$ 12,414.00

The Cafeteria Building Repairs: \$ 38,725.00

The Free-Standing Covered Walkways Replacement: \$ 180,794.00

The Perimeter Chain Link Fence and Gates Replacement: \$ 234,883.00

The Canteen Building Replacement: \$ 31,389.00

The Maintenance Building Repairs: \$ 14,139.00

Recreational Facilities (basketball court) Repairs: \$ 9,120.00

The Water Pump Room Replacement: \$ 35,263.00

Cost Estimating Format Total Project: \$ 2,296,875.00

Projects Notes:

1. 50% Repair/Replacement Analysis using RS Means unit and assembly costs for both the repair and replacement estimates resulted repair/replacement cost ratios for the following structures:

- a. Building F: \$223,219.67 repair cost / \$625,308.78 replacement cost = 35.70%, therefore only repairs are eligible (see the attachment labeled *SP 77519 Bldg F 50% Repair-Replacement Analysis.xls*)
- b. Building I: \$464,979.92 repair cost / \$974,979.71 replacement cost = 47.69%, therefore only repairs are eligible (see the attachment labeled *SP 77519 Bldg I 50% Repair-Replacement Analysis.xls*)
- c. Free-Standing Covered Walkways: \$80,696.44 repair cost / \$96,906.59 replacement cost = 83.27%, therefore replacement is eligible (see the attachment labeled *SP 77519 Free-Standing Covered Walkways 50% Repair-Replacement Analysis.xls*)
- d. Canteen: \$10,409.45 repair cost / \$13,340.76 replacement cost = 78.03%, therefore replacement is eligible (see the attachment labeled *SP 77519 Canteen 50% Repair-Replacement Analysis.xls*)
- e. Water Pump Room: \$12,206.97 repair cost / \$19,697.72 replacement cost = 61.97%, therefore replacement is eligible (see the attachment labeled *SP 77519 Water Pump Room 50% Repair-Replacement Analysis.xls*)
- f. The Free-Standing Covered Walkways, the Canteen, and the Water Pump Room satisfied FEMA's 50% Repair/Replacement rule qualifying for replacement costs. The remainder of the school facilities are only eligible for repair costs.

2. Although the Applicant submitted an engineering *Field Report* prepared by the Helios Energy group which included a lump sum rough order of magnitude estimate of \$2,205,000.00 to repair Buildings D, E, and F (designated Building C in the *Helios Field Report*), FEMA was only able to validate \$579,124.00 in documented damages at buildings D, E, and F. Also, because a cost estimate of the documented damages at Building I resulted in repair costs that did not exceed 50% of the replacement cost, the \$2,943,500.00 lump sum rough order of magnitude estimate for the replacement of Building I (denoted Building F in the *Helios Field Report*) was not considered as the eligible scope of work (only costs for documented repairs are eligible because the eligibility criteria for replacement was not satisfied).

3. All estimates for work to be completed were generated using RS Means. See the attachment labeled *SP 77519 RS Means Cost Estimate.xls*.

4. A cost Estimating Format (CEF) has been created for this large project, see the attachment labeled *SP 77519 CEF.xls*.

5. The *CNMI Homeland Security and Emergency Management Standard State Mitigation Plan (Draft)*, dated August 2014, indicates that Building B was constructed in 1990, Buildings D, E, and F were constructed in 1970, and Buildings G and I were constructed in 1998. The Applicant estimates the Water Pump Room was constructed in approximately 2005.

406 HMP Scope

The Hazard Mitigation Proposal for Building I was removed pending approval of a waiver for the previous obtain and maintain (O&M) insurance requirement.

Cost

Code	Quantity	Unit	Total Cost	Section
9000 (CEF Cost Estimate)	1.00	Lump Sum	\$2,296,875.00	Uncompleted

CRC Gross Cost	\$2,296,875.00
Total 406 HMP Cost	\$0.00
Total Insurance Reductions	\$0.00
CRC Net Cost	\$2,296,875.00
Federal Share (75.00%)	\$1,722,656.25
Non-Federal Share (25.00%)	\$574,218.75

Subgrant Conditions

- As described in 2 CFR, Part 200 § 200.333, financial records, supporting documents, statistical records and all other non-Federal entity records pertinent to a Federal award must be retained for a period of three (3) years from the date of submission of the final expenditure report or, for Federal awards that are renewed quarterly or annually, from the date of the submission of the quarterly or annual financial report, respectively, as reported to the Federal awarding agency or pass-through entity in the case of a sub-recipient. Federal awarding agencies and pass-through entities must not impose any other record retention requirements upon non-Federal entities. Exceptions, Part 200.333, (a) – (f), (1), (2). All records relative to this Project Worksheet are subject to examination and audit by the State, FEMA and the Comptroller General of the United States and must reflect work related to disaster-specific costs.
- In the seeking of proposals and letting of contracts for eligible work, the Applicant/Subrecipient must comply with its Local, State (provided that the procurements conform to applicable Federal law) and Federal procurement laws, regulations, and procedures as required by FEMA Policy 2 CFR Part 200, Procurement Standards, §§ 317-326.
- The Recipient must submit its certification of the applicant's completion of this project, the final claim for payment, and supporting documentation within 180 days from the date that the applicant completes the scope of work. Project Worksheets written as large projects (costs above the large project threshold) are reimbursed based on the actual eligible final project costs. Therefore, during the final project reconciliation (closeout), the project may be amended to reflect the reconciliation of actual eligible costs.
- The terms of the FEMA-State Agreement are incorporated by reference into this project award under the Public Assistance grant and the applicant must comply with all applicable laws, regulations, policy, and guidance. This includes, among others, the Robert T. Stafford Disaster Relief and Emergency Assistance Act; Title 44 of the Code of Federal Regulations; FEMA Policy No. 104-009-2, Public Assistance Policy and Program Guide; and other FEMA policy and guidance.
- The DHS Standard Terms and Conditions in effect as of the date of the declaration of this major disaster are incorporated by reference into this project award under the Public Assistance grant, which flow down from the Recipient to subrecipients unless a particular term or condition indicates otherwise.
- The Uniform Administrative Requirements, Cost Principles, and Audit Requirements set forth at 2 C.F.R. pt. 200 apply to this project award under the Public Assistance grant, which flow down from the Recipient to all subrecipients unless a particular section of 2 C.F.R. pt. 200, the FEMA-State Agreement, or the terms and conditions of this project award indicate otherwise. See 2 C.F.R. §§ 200.101 and 110.
- The applicant must submit a written request through the Recipient to FEMA before it makes a change to the approved scope of work in this project. If the applicant commences work associated with a change before FEMA approves the change, it will jeopardize financial assistance for this project. See FEMA Policy No. 104-009-2, Public Assistance Program and Policy Guide.

Insurance

Additional Information

9/30/2020

FACTS:

During the incident the multiple buildings at the William S Reyes Elementary School was damaged by Typhoon force winds.

FINDINGS:

Applicant provided a copy of their commercial property policy from Century Insurance Company, policy #FIFIRESPN20175099, effective dates of 11-13-2017 through 11-13-2018, limit of liability of \$5,000,000 and is subject to a \$5,000.00 base deductible. Typhoon coverage is limited to \$5,000,000.00 and is subject to a \$100,000.00 typhoon deductible.

The policy provides coverage for buildings only constructed of concrete under concrete & or metal roof. William S Reyes Elementary School is not a scheduled location.

Site #222923; William S. Reyes Elementary School : \$2,296,875

Facility was damaged by wind. Coverage is NOT anticipated because the property is not scheduled.

Prior O&M requirement was found for this applicant under DR4235, PW00010 for building I in the amount of \$6,074.00. However, a waiver for prior obtain & maintain insurance requirement was approved by FEMA. See "CNMI Insurance Waiver Approval (DR4235)". Therefore, no mandatory reduction will be made to this facility.

INSURANCE REQUIREMENTS:

No Obtain & Maintain Requirement is being mandated. The Applicant's request to modify the insurance requirement was approved.; see "CNMI Insurance Waiver Approval (DR4404 & DR4396)". Therefore, no insurance requirement will be mandated on the facility included in this Project.

Standard Insurance Comments

FEMA Policy 206-086-1

PART 2: Other Insurance-Related Provisions. (Sections 312 and 406(d) of the Stafford Act)

A. Duplication of Benefits. FEMA cannot provide assistance for disaster-related losses that duplicate benefits available to an applicant from another source, including insurance.

1. Before FEMA approves assistance for a property, an applicant must provide FEMA with information about any actual or anticipated insurance settlement or recovery it is entitled to for that property.
2. FEMA will reduce assistance to an applicant by the amount of its actual or anticipated insurance proceeds.
3. Applicants must take reasonable efforts to recover insurance proceeds that they are entitled to receive from their insurer(s).

Guido Vanoni- Insurance Specialist-CRC Central.

O&M Requirements

There are no Obtain and Maintain Requirements on **William S. Reyes Elementary School**.

406 Mitigation

There is no additional mitigation information on **William S. Reyes Elementary School**.

Environmental Historical Preservation

Is this project compliant with EHP laws, regulations, and executive orders?

Unanswered

EHP Conditions

- Any change to the approved scope of work will require re-evaluation for compliance with NEPA and other Laws and Executive Orders.
- This review does not address all federal, state and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state and local environmental permits and clearances may jeopardize funding.
- If ground disturbing activities occur during construction, applicant will monitor ground disturbance and if any potential archaeological resources are discovered, will immediately cease construction in that area and notify the State and FEMA.

EHP Additional Info

There is no additional environmental historical preservation on **William S. Reyes Elementary School**.

Final Reviews

Final Review

Reviewed By Not Reviewed

Reviewed On Not Reviewed

Review Comments

No comments available for the Final Review step

Recipient Review

Reviewed By Not Reviewed

Reviewed On Not Reviewed

Review Comments

No comments available for the Recipient Review step

Project Signatures

Signed By Unsigned

Signed On Unsigned